

Development Application

156-168 QUEEN STREET,
CAMPBELLTOWN

DRAWING LIST

NO.	ISSUE	SCALE @ A2	CONTENT
DA00	B	NTS	COVER PAGE
DA01	B	1:500	SITE ANALYSIS
DA02	B	1:1000	STREETSCAPE ANALYSIS PLAN
DA10	B	1:200	SITE + ROOF PLAN
DA11	B	1:200	BASEMENT 02 PLAN
DA12	B	1:200	BASEMENT 01 PLAN
DA13	B	1:200	LEVEL 01 PLAN
DA14	B	1:200	LEVEL 02 PLAN
DA15	B	1:200	LEVEL 03 PLAN
DA16	B	1:200	TYPICAL LEVEL 04-11 PLAN
DA20	B	1:200	SECTION AA + BB
DA21	B	1:200	NORTH ELEVATION
DA22	B	1:200	EAST ELEVATION
DA23	B	1:200	SOUTH ELEVATION
DA24	B	1:200	WEST ELEVATION
DA30	B	1:500	GFA CALCULATIONS
DA40	B	1:500	SHADOW DIAGRAM - 21 JUNE
DA41	B	1:500	SHADOW DIAGRAM - 21 JUNE
DA50	B	NTS	EXTERNAL MATERIALS AND FINISHES

CONTEXT PLAN - SCALE 1:2000 @ A2



KEY / NOTES

CLIENT

CAMPBELLTOWN RSL CLUB

ADDRESS

156-168 QUEEN STREET
CAMPBELLTOWN

REVISION

B DA AMENDMENTS

TITLE

COVER PAGE



SCALE @ A2
DRAWN BY
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NTS
SS
AJ

FOR DEVELOPMENT
APPLICATION ONLY

PROJECT NO.

17088

DRAWING NO.

DA00

REVISION

B

ADDRESS : 156-168 QUEEN STREET, CAMPBELLTOWN
CURRENT STAGE : DEVELOPMENT APPLICATION

SITE SUMMARY

SITE AREA 2094m2

CAMPBELLTOWN COUNCIL CONTROLS

LOCAL ENVIRONMENTAL PLAN 2015

ZONE B3 COMMERCIAL CORE

PRECINCT MACARTHUR CENTRE REGIONAL CITY CENTRE

HEIGHT LIMIT 32m DCP 85m UDR

DEVELOPMENT CONTROL PLAN 2015

ITEM	REQUIRED	PROPOSED	NOTES
SETBACKS			
STREET BOUNDARY	ZERO SETBACK FROM STREET BOUNDARY FOR ACTIVE STREET FRONTAGES	COMPLIES	
RESIDENTIAL	6M FROM THE BOUNDARY FOR RESIDENTIAL COMPONENT OF THE BUILDING	COMPLIES	

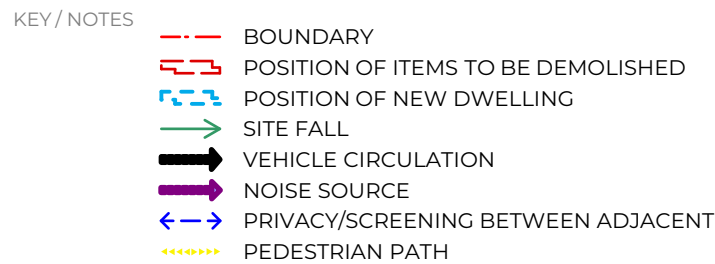
YIELD

	FUNCTION	NO. ROOMS	GFA
LEVEL 01	Hotel Lobby + RSL Club	-	908
LEVEL 02	RSL Club	-	838.9
LEVEL 03	Hotel	16	455.5
LEVEL 04	Hotel	17	451.8
LEVEL 05	Hotel	17	451.8
LEVEL 06	Hotel	17	451.8
LEVEL 07	Hotel	17	451.8
LEVEL 08	Hotel	17	451.8
LEVEL 09	Hotel	17	451.8
LEVEL 10	Hotel	17	451.8
LEVEL 11	Hotel	17	451.8
TOTALS		152	5817
FSR		2.8 :1	

Proposed Communal Space	LEVEL 03	192.7	M2
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PARKING RATES

BASEMENT 01	41
BASEMENT 02	45
TOTAL	86



DRAWING NO.	REVISION
DA01	B



MAWSON PARK



138-154 QUEEN STREET



170-176 QUEEN STREET



178 QUEEN STREET



186 QUEEN STREET



192 QUEEN STREET



156-168 QUEEN STREET (PROPOSAL)

KEY / NOTES

CLIENT

CAMPBELLTOWN RSL CLUB

ADDRESS

156-168 QUEEN STREET
CAMPBELLTOWN

REVISION

B DA AMENDMENTS

TITLE

STREETScape ANALYSIS PLAN

SCALE @ A2

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1:500

FOR DEVELOPMENT
APPLICATION ONLY

PROJECT NO.

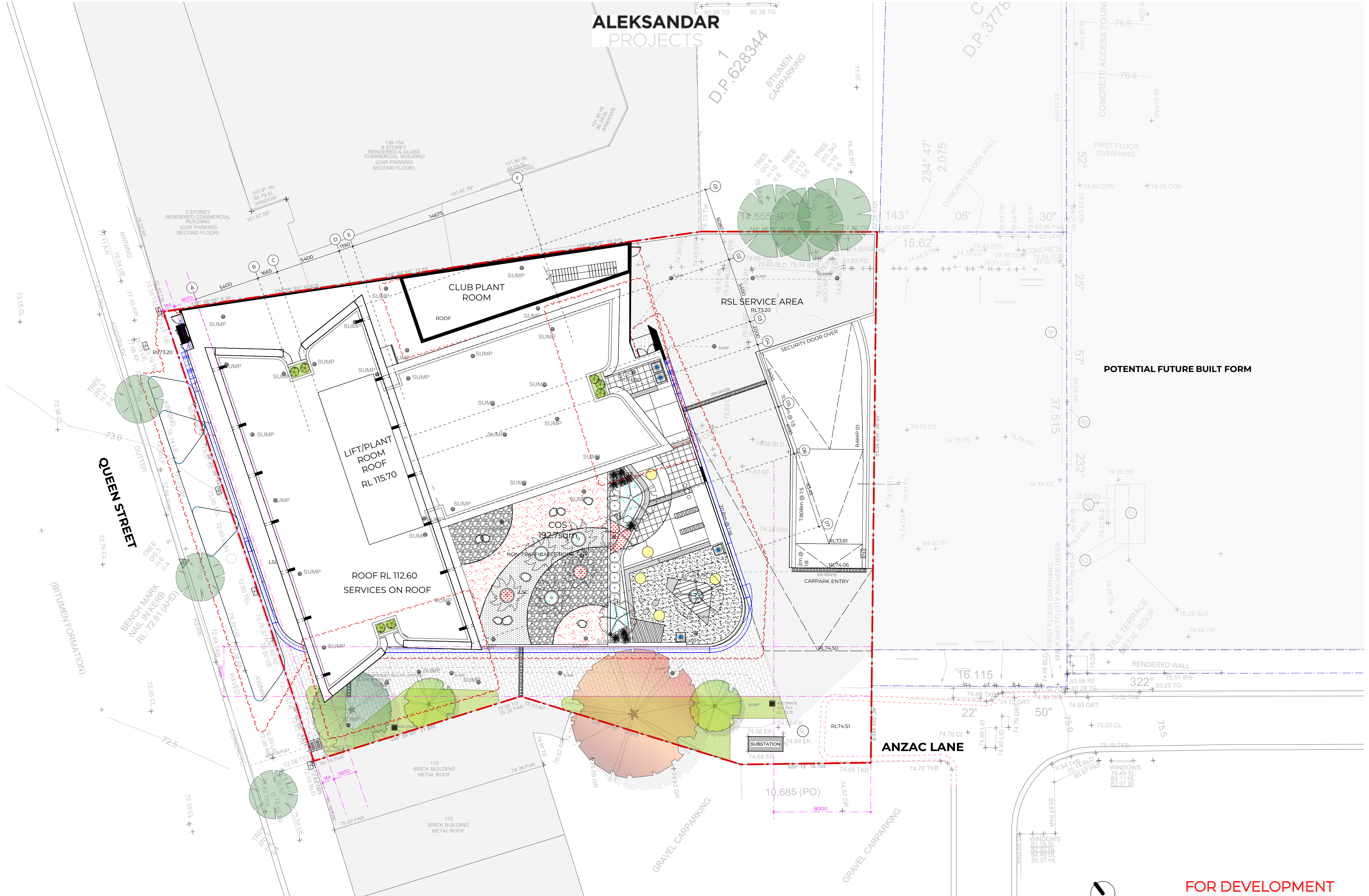
17088

DRAWING NO.

DA02

REVISION

B



POTENTIAL FUTURE BUILT FORM

KEY / NOTES

CLIENT

CAMPBELLTOWN RSL CLUB

ADDRESS

156-168 QUEEN STREET
CAMPBELLTOWN

REVISION

B DAAMENDMENTS

TITLE

SITE + ROOF PLAN

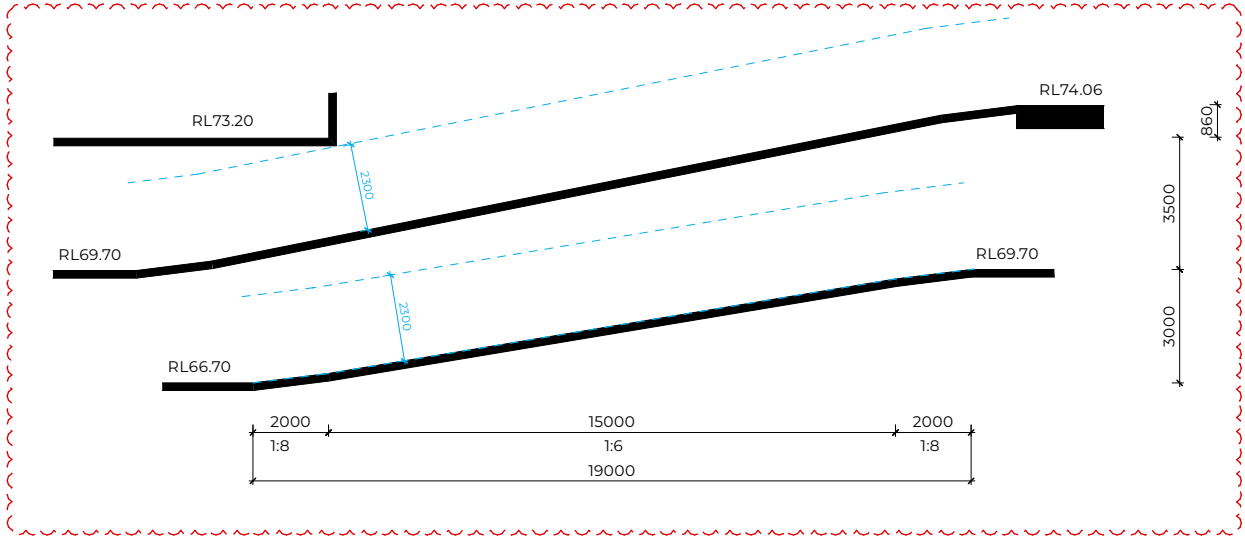


SCALE @ A2 1:200
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APPLICATION ONLY

PROJECT NO. 17088

DRAWING NO. DA10
REVISION B



KEY / NOTES

CLIENT

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ADDRESS

156-168 QUEEN STREET
CAMPBELLTOWN

REVISION

E RAMP NOTATION AMENDED

TITLE

BASEMENT 02 PLAN



SCALE @ A2

DRAWN BY

CHECKED BY

1:200

SS

AJ

FOR DEVELOPMENT
APPLICATION ONLY

PROJECT NO.

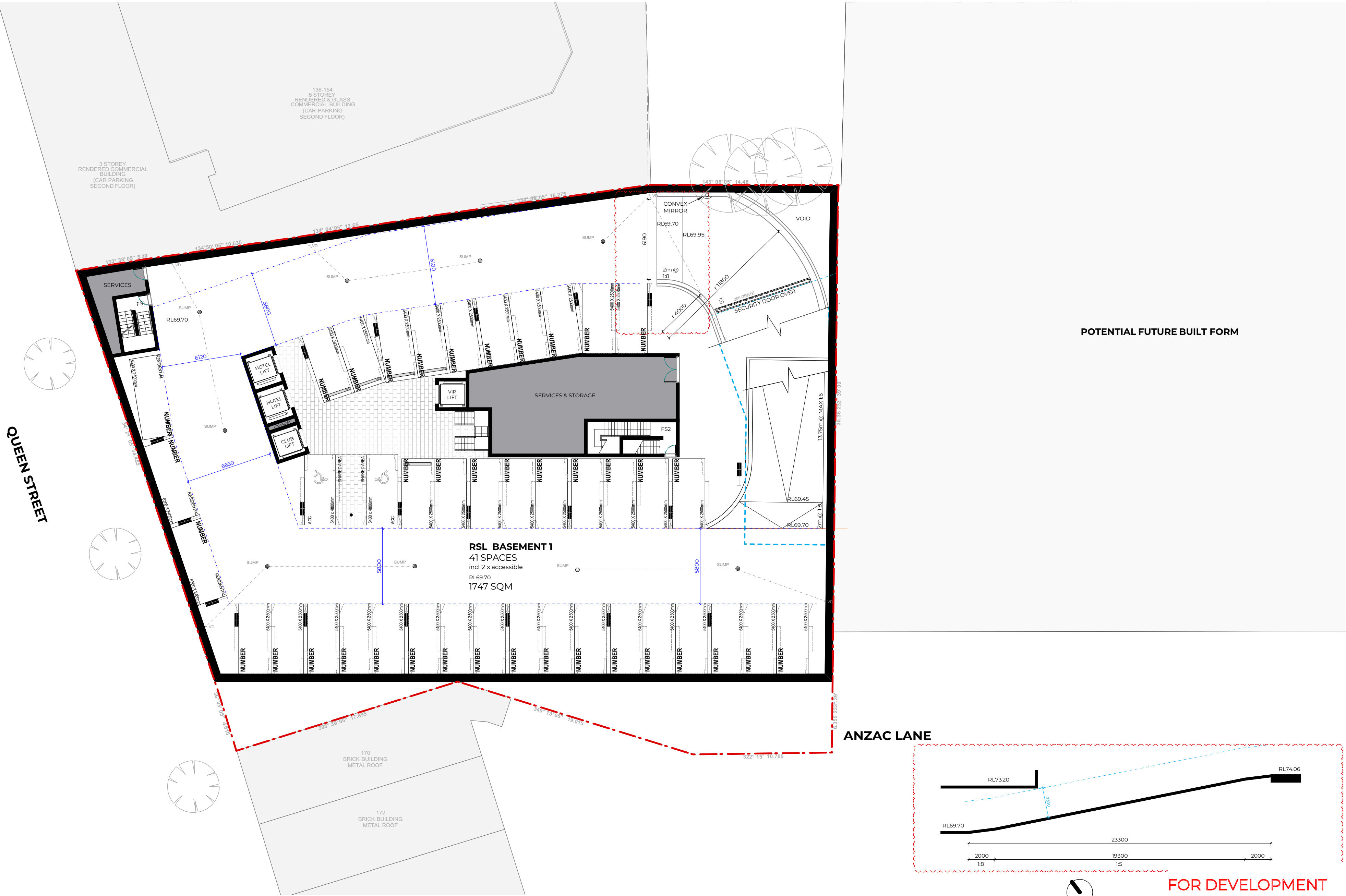
17088

DRAWING NO.

DA11

REVISION

E



KEY / NOTES

CLIENT

CAMPBELLTOWN RSL CLUB

ADDRESS

156-168 QUEEN STREET
CAMPBELLTOWN

REVISION

D RAMP SECTION

TITLE

BASEMENT 01 PLAN



SCALE @ A2

DRAWN BY

CHECKED BY

1:200

SS

AJ

FOR DEVELOPMENT
APPLICATION ONLY

PROJECT NO.

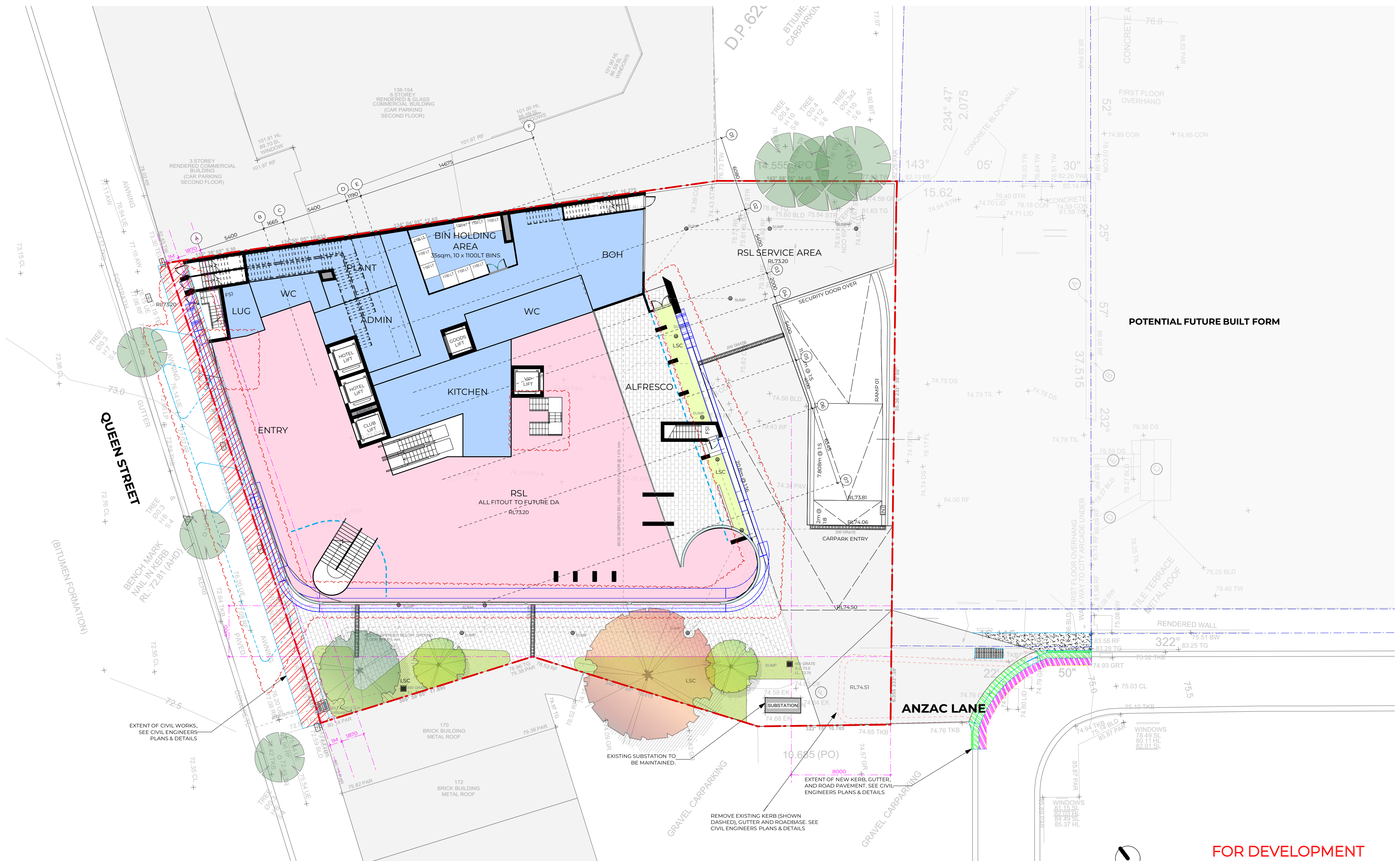
17088

DRAWING NO.

DA12

REVISION

D



- KEY / NOTES
- EXISTING TREES
 - PROPOSED TREES & LANDSCAPE TO LSC DETAILS
 - PROPOSED RSL SPACE

CLIENT
CAMPBELLTOWN RSL CLUB

ADDRESS
156-168 QUEEN STREET
CAMPBELLTOWN

REVISION
B DAAMENDMENTS

TITLE
LEVEL 01 PLAN

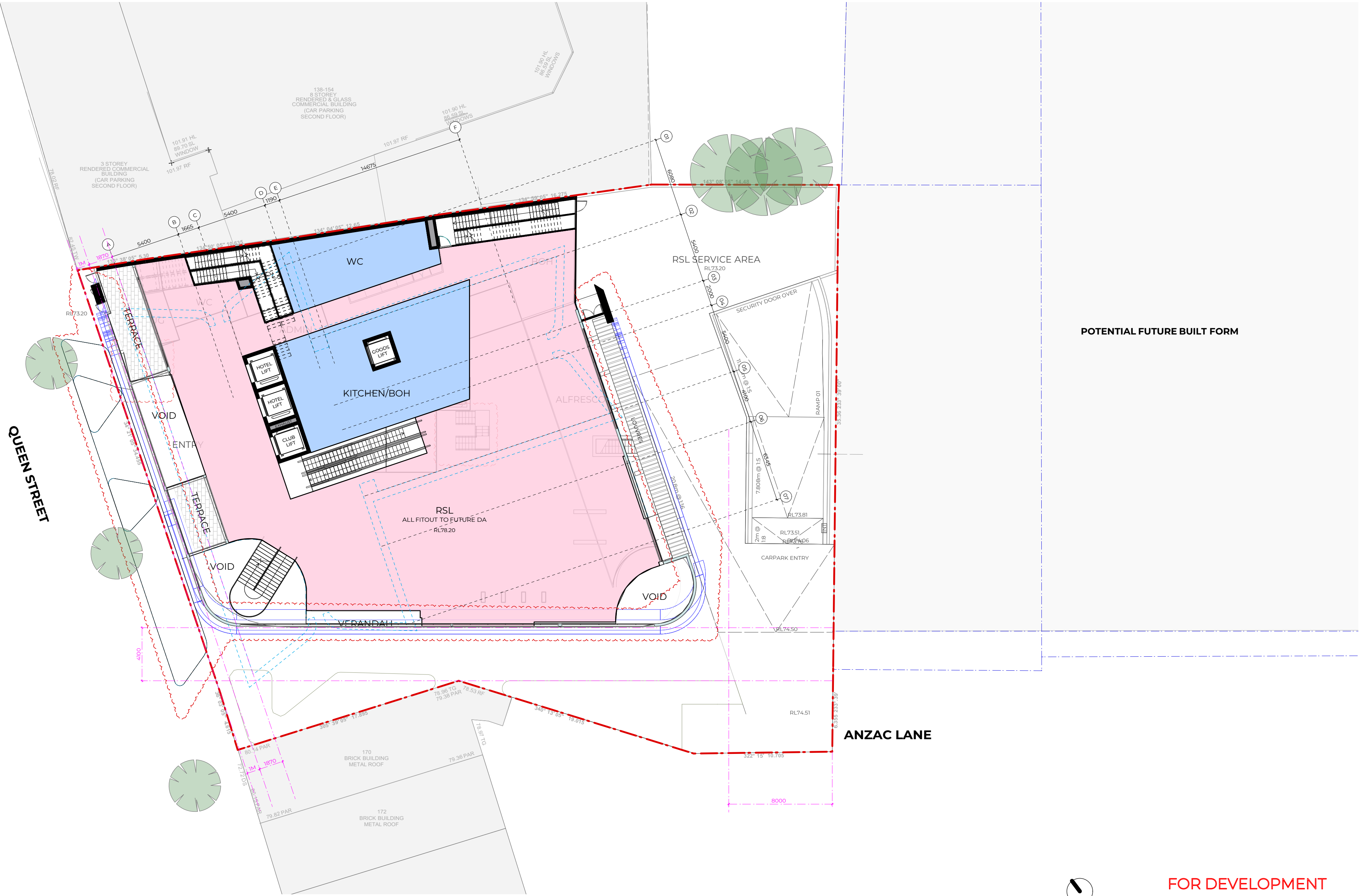
SCALE @ A2 1:200
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FOR DEVELOPMENT
APPLICATION ONLY

PROJECT NO. 17088

DRAWING NO. DA13

REVISION B



KEY / NOTES
EXISTING TREES

CLIENT
CAMPBELLTOWN RSL CLUB

ADDRESS
156-168 QUEEN STREET
CAMPBELLTOWN

REVISION
B DAAMENDMENTS

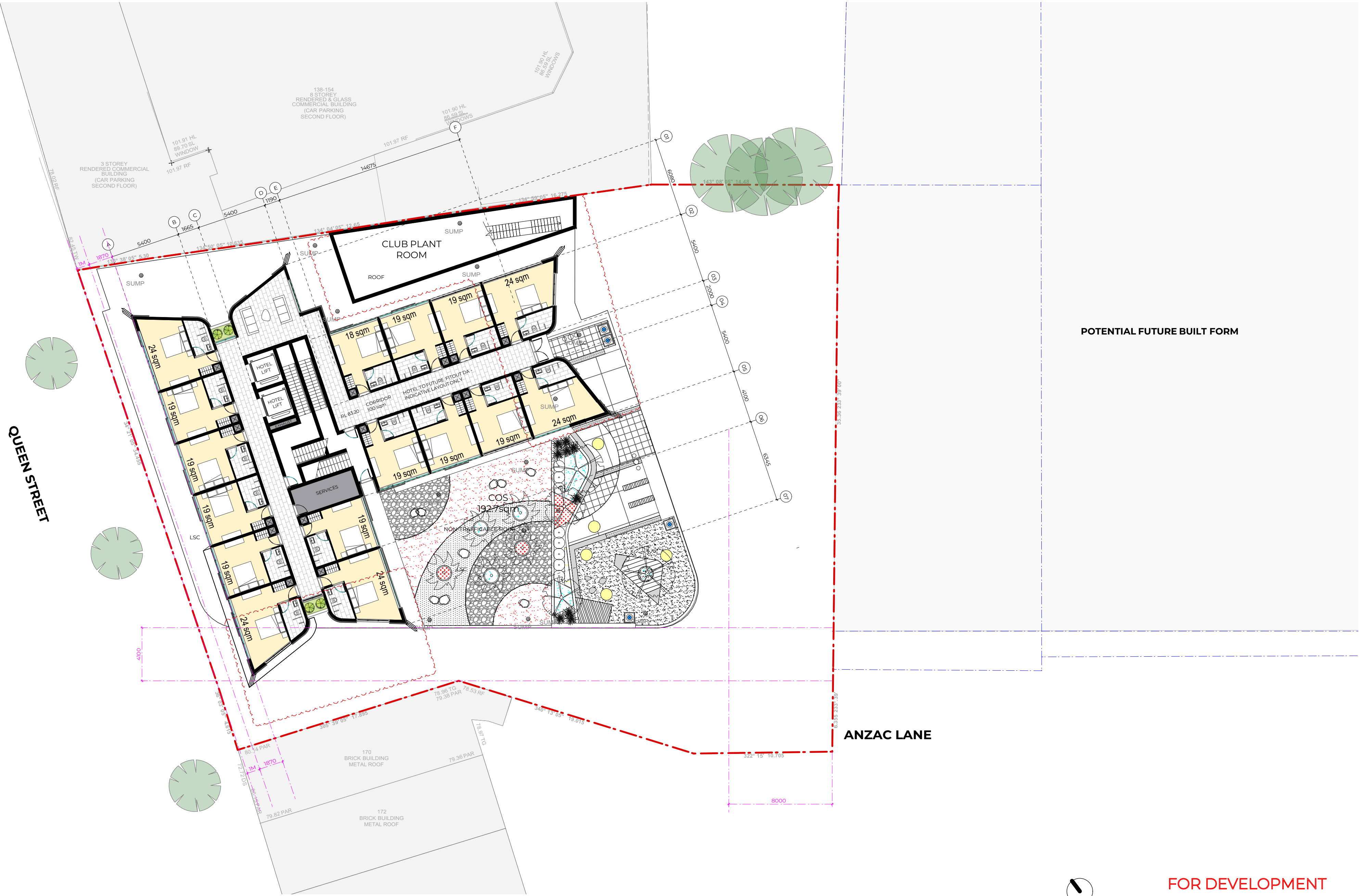
TITLE
LEVEL 02 PLAN
8/7/20



SCALE @ A2
DRAWN BY
CHECKED BY

1:200
SS
AJ

FOR DEVELOPMENT
APPLICATION ONLY
PROJECT NO. 17088
DRAWING NO. DA14
REVISION B



- KEY / NOTES
- EXISTING TREES
 - PROPOSED TREES & LANDSCAPE TO LSC DETAILS
 - PROPOSED RSL SPACE

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CAMPBELLTOWN RSL CLUB

ADDRESS
156-168 QUEEN STREET
CAMPBELLTOWN

REVISION
B DAAMENDMENTS

TITLE
LEVEL 03 PLAN



SCALE @ A2 1:200
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APPLICATION ONLY

PROJECT NO. 17088
DRAWING NO. DA15
REVISION B



- KEY / NOTES
- EXISTING TREES
 - PROPOSED TREES & LANDSCAPE TO LSC DETAILS
 - PROPOSED RSL SPACE

CLIENT
CAMPBELLTOWN RSL CLUB

ADDRESS
156-168 QUEEN STREET
CAMPBELLTOWN

REVISION
B DAAMENDMENTS

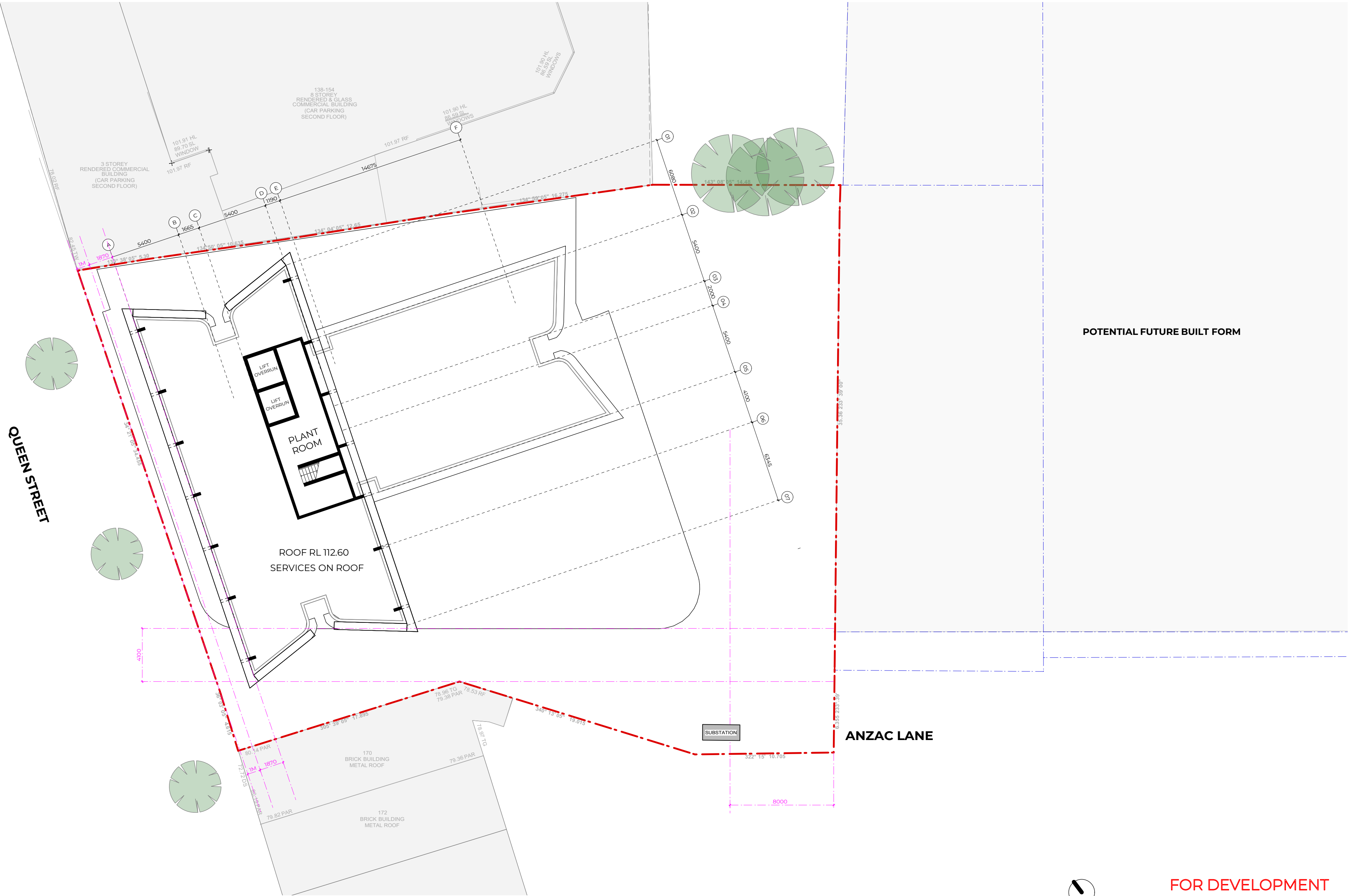
TITLE
TYPICAL LEVEL 04-11 PLAN
8/7/20



SCALE @ A2
DRAWN BY
CHECKED BY

1:200
SS
AJ

FOR DEVELOPMENT
APPLICATION ONLY
PROJECT NO. 17088
DRAWING NO. DA16
REVISION B



- KEY / NOTES
- EXISTING TREES
 - PROPOSED TREES & LANDSCAPE TO LSC DETAILS
 - PROPOSED RSL SPACE

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CAMPBELLTOWN RSL CLUB

ADDRESS
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CAMPBELLTOWN

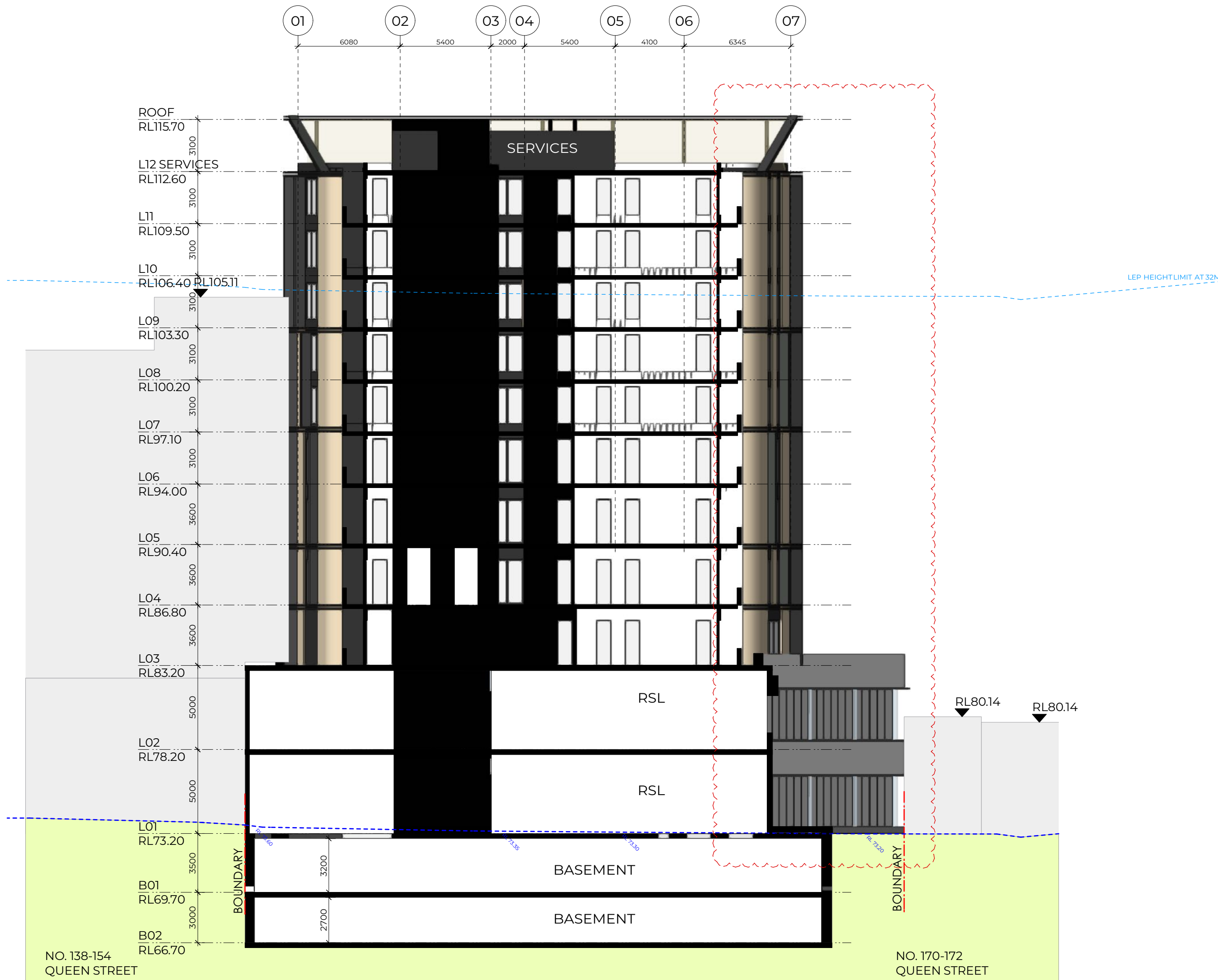
REVISION
A COUNCIL REQUESTED

TITLE
17/3/20
ROOF PLANT ROOM PLAN



SCALE @ A2
DRAWN BY
CHECKED BY
SS
AJ

FOR DEVELOPMENT
APPLICATION ONLY
PROJECT NO. 17088
DRAWING NO. DA17
REVISION A



KEY / NOTES

CLIENT

CAMPBELLTOWN RSL CLUB

ADDRESS

156-168 QUEEN STREET
CAMPBELLTOWN

REVISION

B DAAMENDMENTS

TITLE

SECTION AA

SCALE @ A2

DRAWN BY

CHECKED BY

1:200

SS

AJ

FOR DEVELOPMENT
APPLICATION ONLY

PROJECT NO.

17088

DRAWING NO.

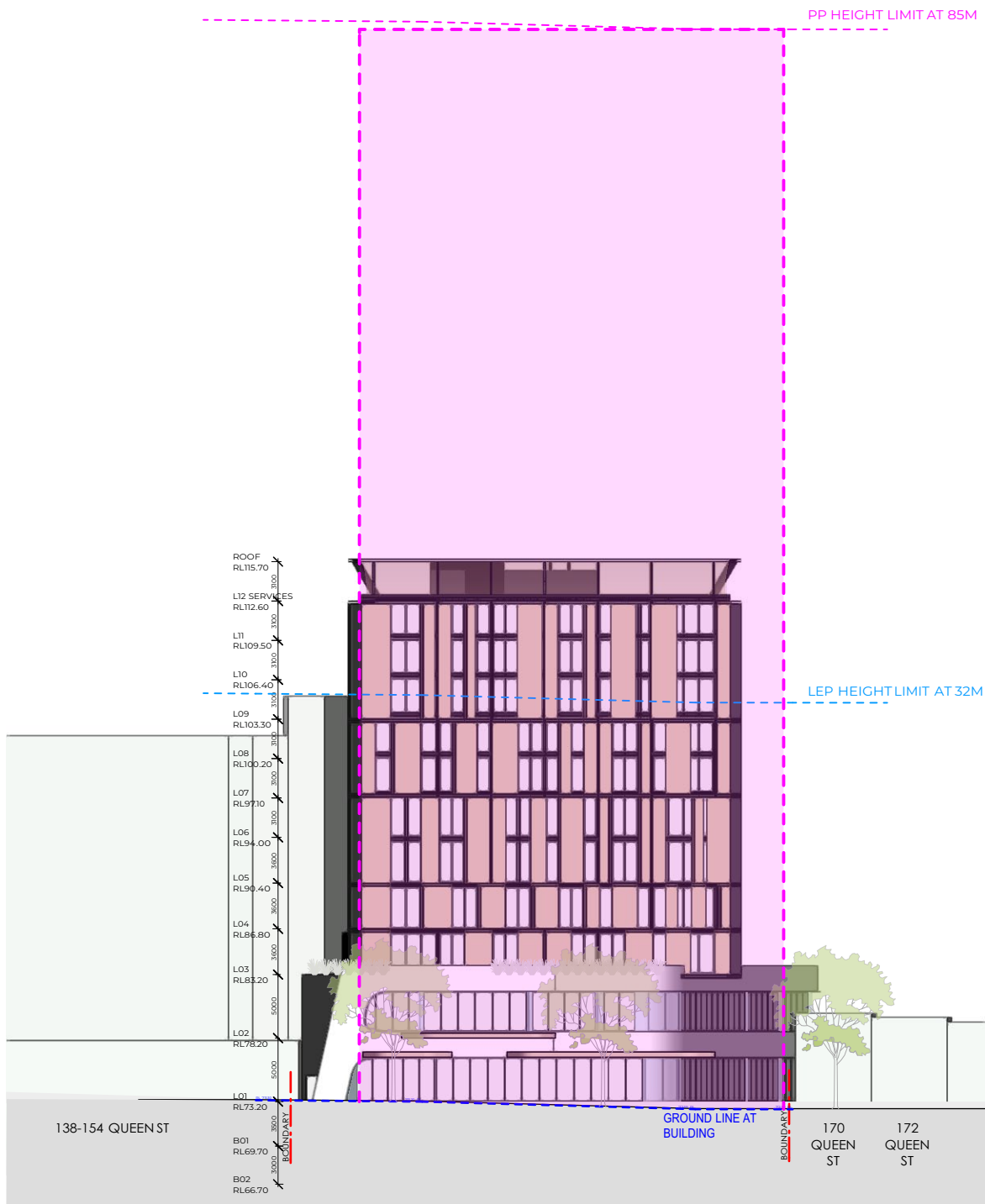
DA20

REVISION

B



■ NORTH ELEVATION 1:200



■ NORTH ELEVATION 1:500

L01 & L02 LAYOUT / FLOOR PLAN DESIGNED BY ALTIS ARCHITECTURE PTY LTD

KEY / NOTES

- MF1 ► BLACK METALLIC CLADDING
- MF2 ► BRONZE METALLIC
- AFW1 ► ALUMINIUM FRAME WINDOWS TO MATCH MF1
- AFW2 ► ALUMINIUM FRAME WINDOWS TO MATCH P2
- P1 ► DULUX BLACK OR SIMILAR
- P2 ► PAINT FINISH IN DULUX WHITE ON WHITE TO SOFFIT

- SC ► BRONZE METALLIC PERFORATED METAL SCREEN
- LV ► LOUVRE SCREENING
- PP ► PLANNING PROPOSAL 85M HEIGHT LIMIT ENVELOPE
-

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CAMPBELLTOWN RSL CLUB

ADDRESS

156-168 QUEEN STREET
CAMPBELLTOWN

REVISION

B DAAMENDMENTS

TITLE

NORTH ELEVATION

SCALE @ A2

1:200

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PROJECT NO.

17088

DRAWING NO.

DA21

REVISION

B



L01 & L02 LAYOUT / FLOOR PLAN DESIGNED BY ALTIS ARCHITECTURE PTY LTD

KEY / NOTES	
MF1	BLACK METALLIC CLADDING
MF2	BRONZE METALLIC
AFW1	ALUMINIUM FRAME WINDOWS TO MATCH MF1
AFW2	ALUMINIUM FRAME WINDOWS TO MATCH P2
P1	DULUX BLACK OR SIMILAR
P2	PAINT FINISH IN DULUX WHITE ON WHITE TO SOFFIT
SC	BRONZE METALLIC PERFORATED METAL SCREEN
LV	LOUVRE SCREENING
	PLANNING PROPOSAL 85M HEIGHT LIMIT ENVELOPE
	EXISTING GROUND LINE

CLIENT
CAMPBELLTOWN RSL CLUB

ADDRESS
156-168 QUEEN STREET
CAMPBELLTOWN

REVISION
B DAAMENDMENTS

TITLE
EAST ELEVATION

SCALE @ A2 1:200
DRAWN BY SS
CHECKED BY AJ

FOR DEVELOPMENT
APPLICATION ONLY
PROJECT NO. 17088
DRAWING NO. DA22
REVISION B



L01 & L02 LAYOUT / FLOOR PLAN DESIGNED BY ALTIS ARCHITECTURE PTY LTD

KEY / NOTES	
MF1	BLACK METALLIC CLADDING
MF2	BRONZE METALLIC
AFW1	ALUMINIUM FRAME WINDOWS TO MATCH MF1
AFW2	ALUMINIUM FRAME WINDOWS TO MATCH P2
P1	DULUX BLACK OR SIMILAR
P2	PAINT FINISH IN DULUX WHITE ON WHITE TO SOFFIT
SC	BRONZE METALLIC PERFORATED METAL SCREEN
LV	LOUVRE SCREENING
	PLANNING PROPOSAL 85M HEIGHT LIMIT ENVELOPE
	EXISTING GROUND LINE

CLIENT
CAMPBELLTOWN RSL CLUB

ADDRESS
156-168 QUEEN STREET
CAMPBELLTOWN

REVISION
B DAAMENDMENTS

TITLE
SOUTH ELEVATION

SCALE @ A2 1:200
DRAWN BY SS
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FOR DEVELOPMENT
APPLICATION ONLY

PROJECT NO. 17088

DRAWING NO. DA23

REVISION B



L01 & L02 LAYOUT / FLOOR PLAN DESIGNED BY ALTIS ARCHITECTURE PTY LTD

KEY / NOTES	
MF1	BLACK METALLIC CLADDING
MF2	BRONZE METALLIC
AFW1	ALUMINIUM FRAME WINDOWS TO MATCH MF1
AFW2	ALUMINIUM FRAME WINDOWS TO MATCH P2
P1	DULUX BLACK OR SIMILAR
P2	PAINT FINISH IN DULUX WHITE ON WHITE TO SOFFIT
SC	BRONZE METALLIC PERFORATED METAL SCREEN
LV	LOUVRE SCREENING
LV	PLANNING PROPOSAL 85M HEIGHT LIMIT ENVELOPE
---	EXISTING GROUND LINE

CLIENT
CAMPBELLTOWN RSL CLUB

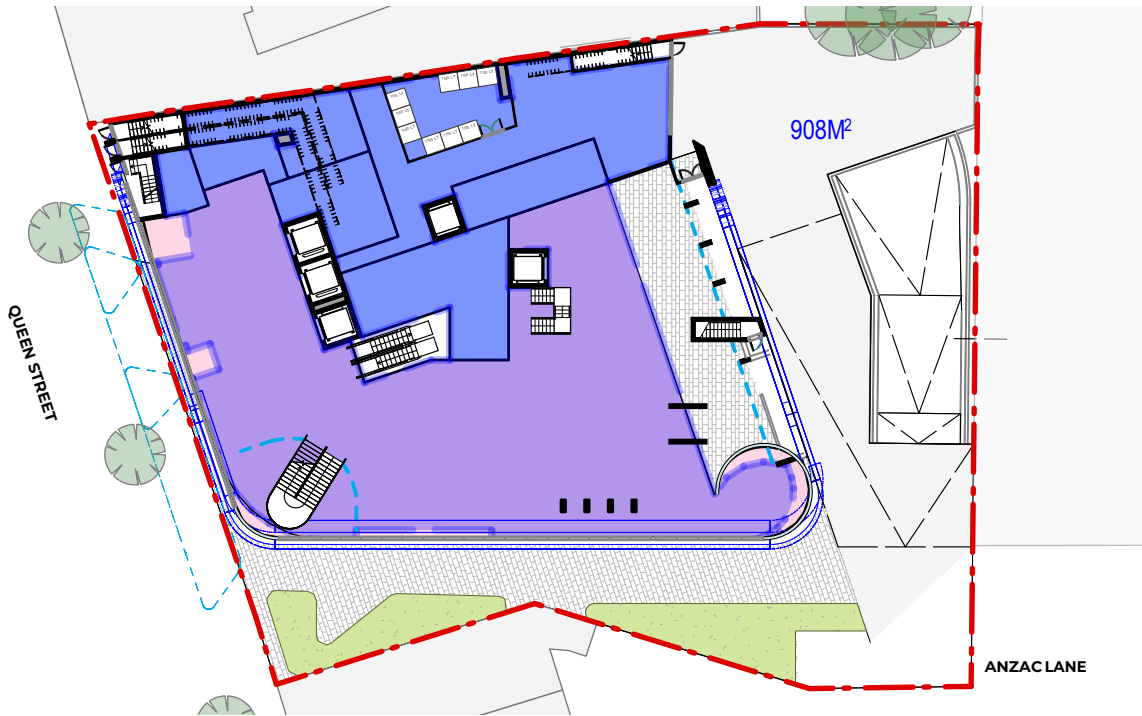
ADDRESS
156-168 QUEEN STREET
CAMPBELLTOWN

REVISION
B DAAMENDMENTS

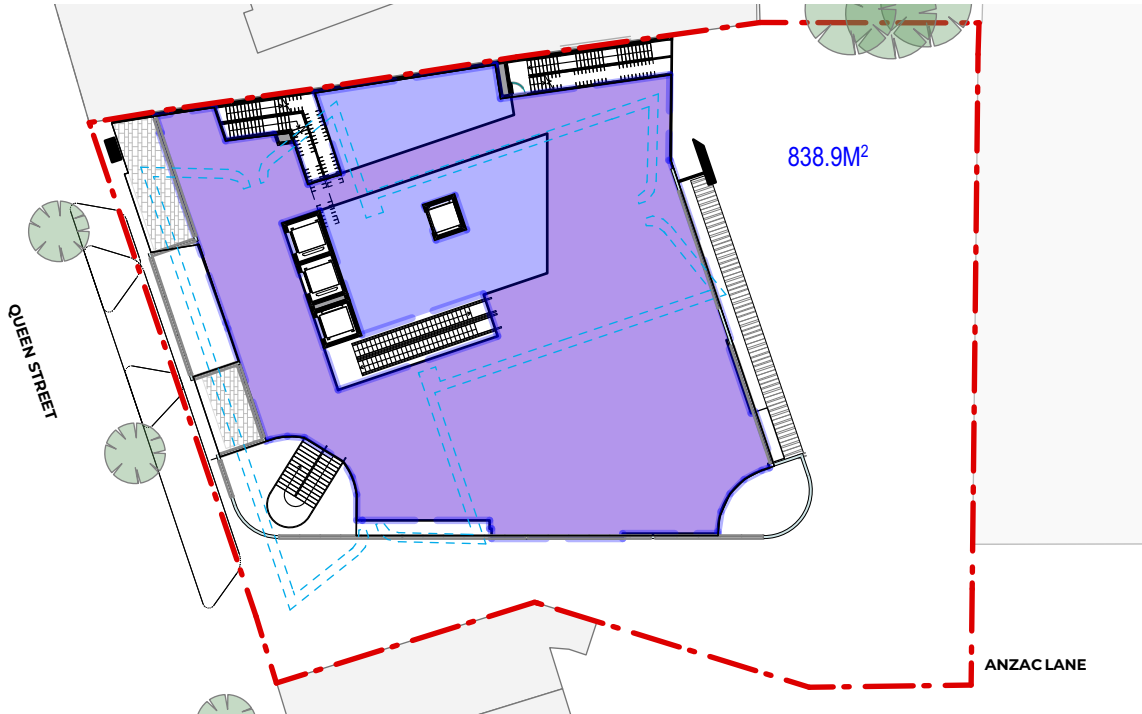
TITLE
WEST ELEVATION

SCALE @ A2 1:200
DRAWN BY SS
CHECKED BY AJ

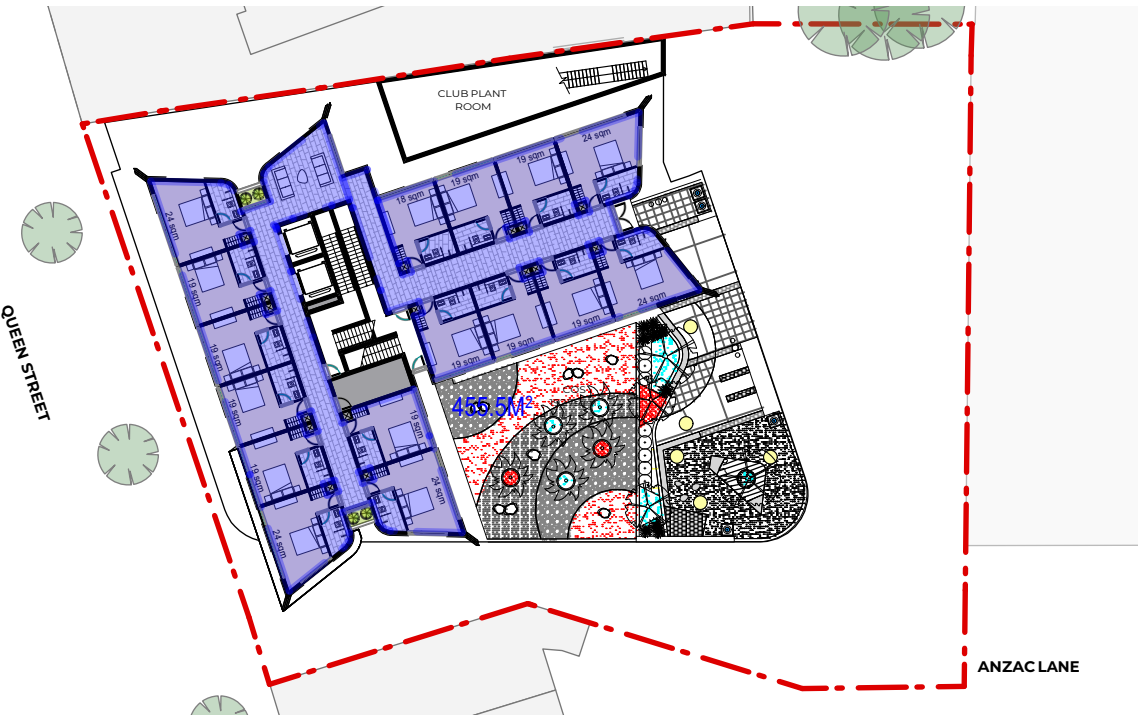
FOR DEVELOPMENT
APPLICATION ONLY
PROJECT NO. 17088
DRAWING NO. DA24
REVISION B



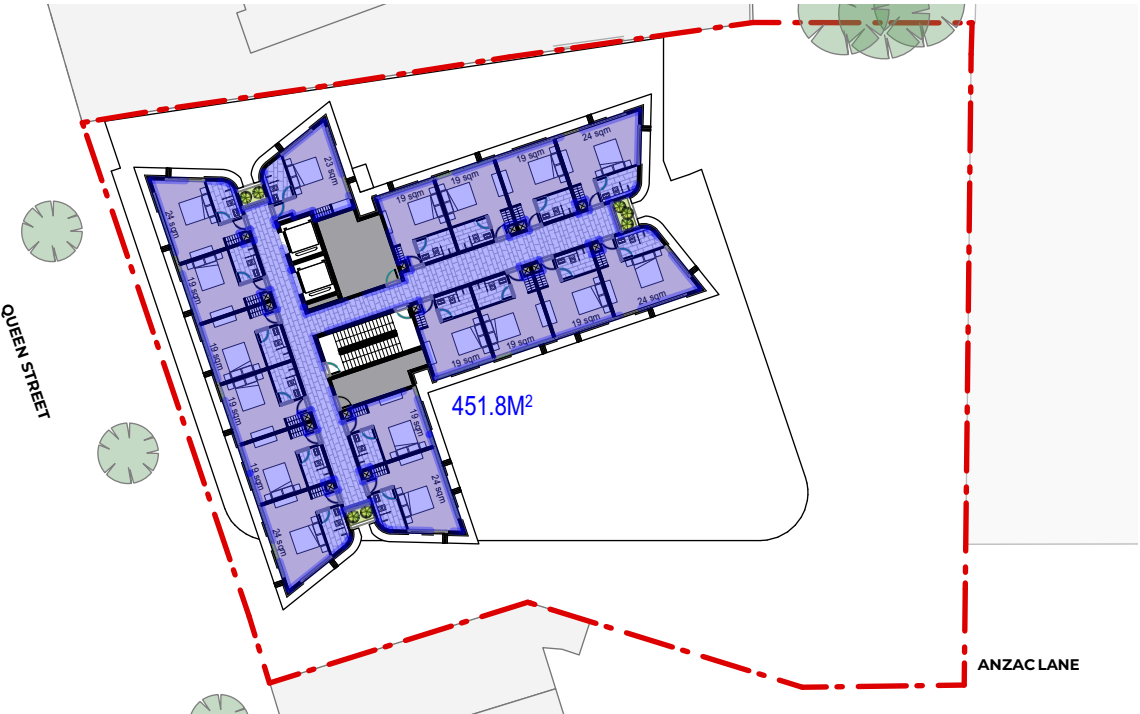
LEVEL 01 PLAN



LEVEL 02 PLAN



LEVEL 03 PLAN



LEVEL 04 TO 11 PLAN (TYPICAL)

SITE SUMMARY

SITE AREA :	2094	M2
ZONE :	B3 COMMERCIAL CORE	

	FUNCTION	NO. ROOMS	GFA
LEVEL 01	Hotel Lobby + RSL Club	-	908
LEVEL 02	RSL Club	-	838.9
LEVEL 03	Hotel	16	455.5
LEVEL 04	Hotel	17	451.8
LEVEL 05	Hotel	17	451.8
LEVEL 06	Hotel	17	451.8
LEVEL 07	Hotel	17	451.8
LEVEL 08	Hotel	17	451.8
LEVEL 09	Hotel	17	451.8
LEVEL 10	Hotel	17	451.8
LEVEL 11	Hotel	17	451.8
TOTALS		152	5817
FSR		2.8	:1

Proposed Communal Space	LEVEL 03	192.7	M2
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PARKING RATES

BASEMENT 01	41
BASEMENT 02	45
TOTAL	86

KEY / NOTES

CLIENT

CAMPBELLTOWN RSL CLUB

ADDRESS

156-168 QUEEN STREET
CAMPBELLTOWN

REVISION

B DA AMENDMENTS

TITLE

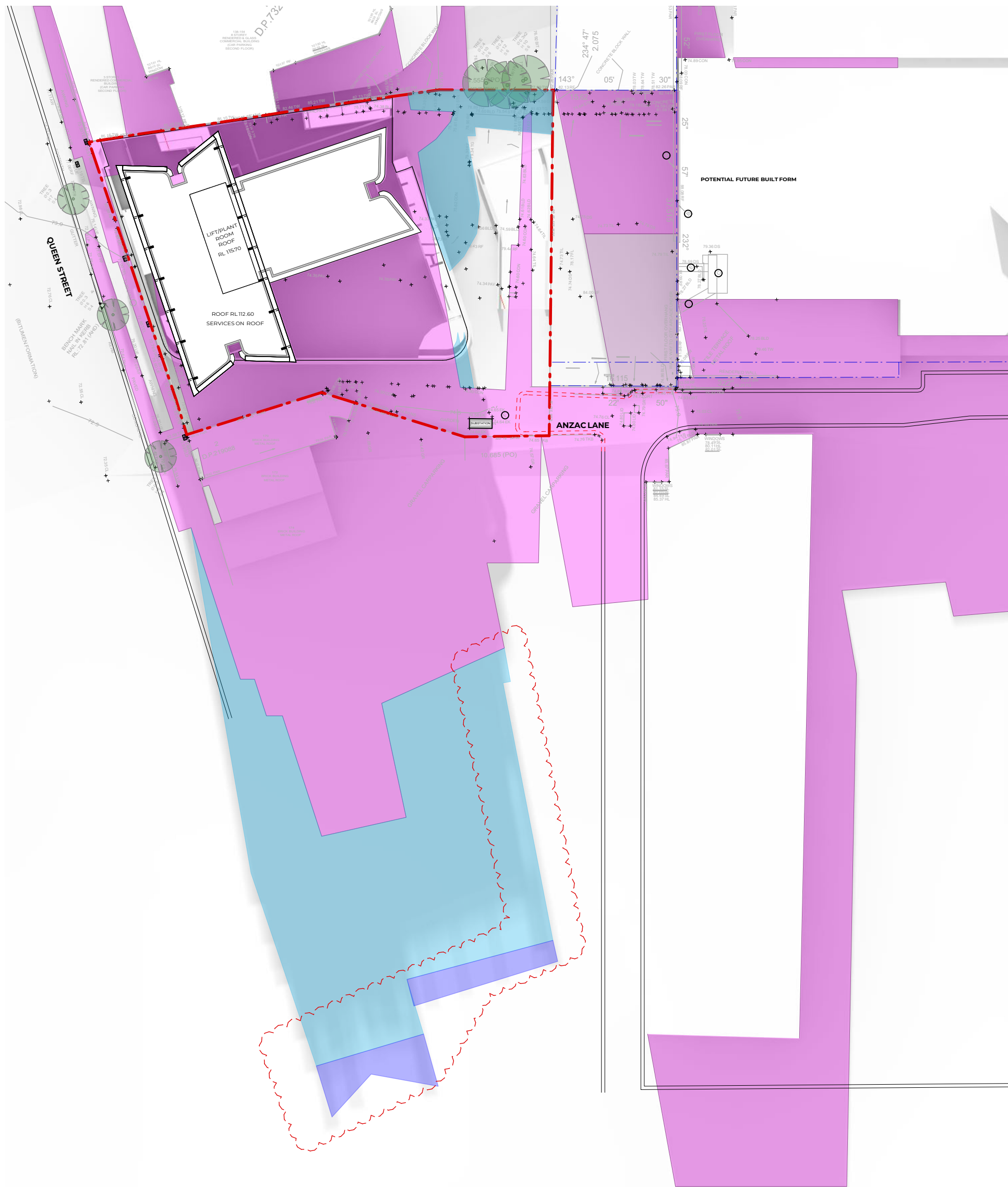
GFA CALCULATIONS

SCALE @ A2 1:500
DRAWN BY SS
CHECKED BY AJ

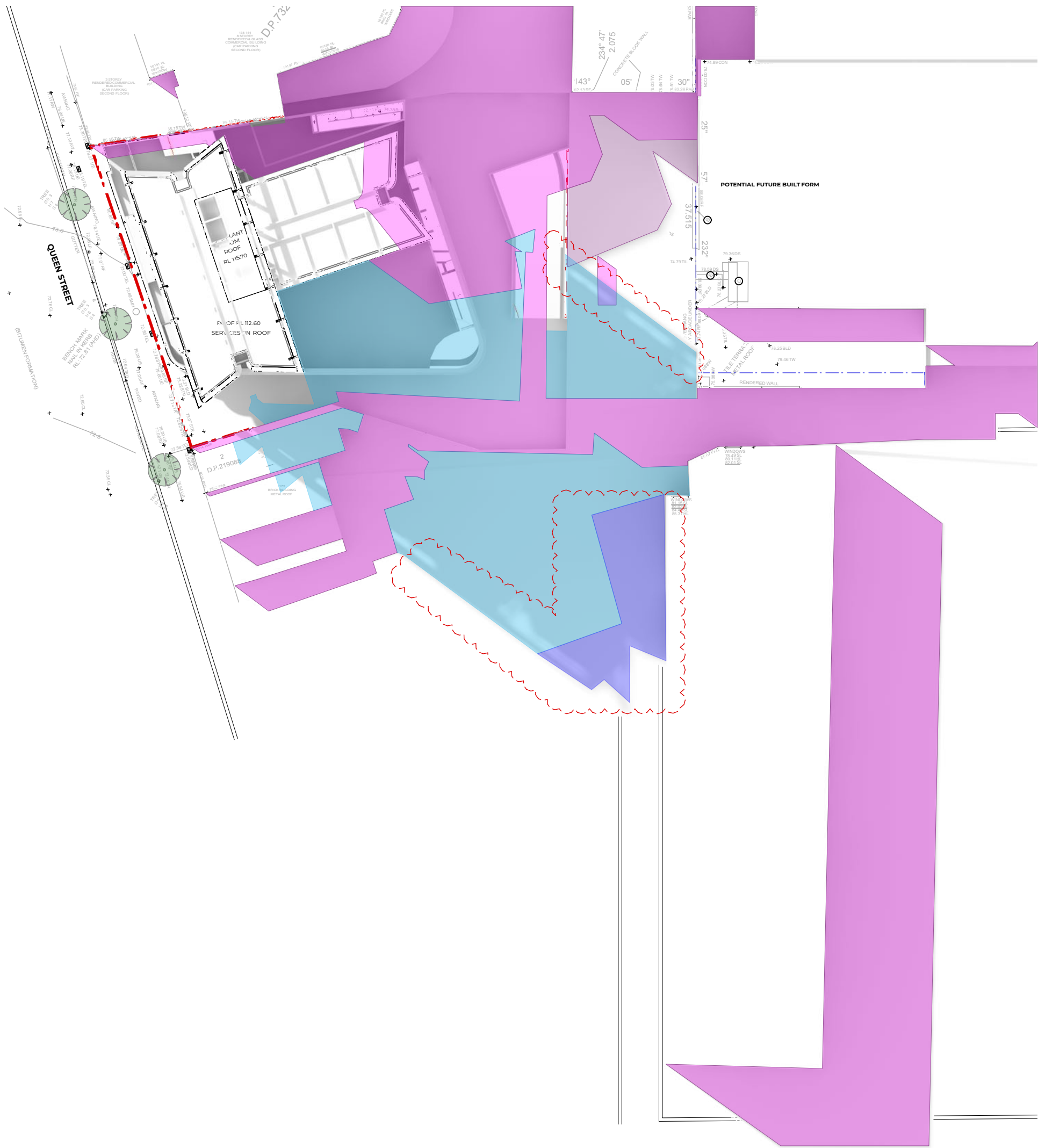
FOR DEVELOPMENT
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PROJECT NO. 17088

DRAWING NO. DA30
REVISION B



9AM JUNE 21ST



12PM JUNE 21ST

KEY / NOTES

- EXISTING SHADOWS
- SHADOW IMPACT OF ADJACENT BUILDINGS POST-DEMOLITION
- PROPOSED SHADOWS
- SHADOW PROJECTION OF PROPOSAL ABOVE HEIGHT LIMIT

CLIENT

CAMPBELLTOWN RSL CLUB

ADDRESS

156-168 QUEEN STREET
CAMPBELLTOWN

REVISION

B DAAMENDMENTS

TITLE

SHADOW DIAGRAM - 21 JUNE



SCALE @ A2
DRAWN BY
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1:200
SS
AJ

FOR DEVELOPMENT
APPLICATION ONLY

PROJECT NO.

17088

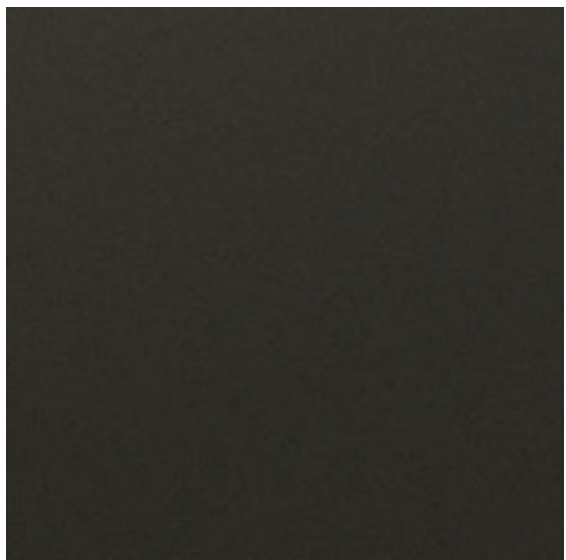
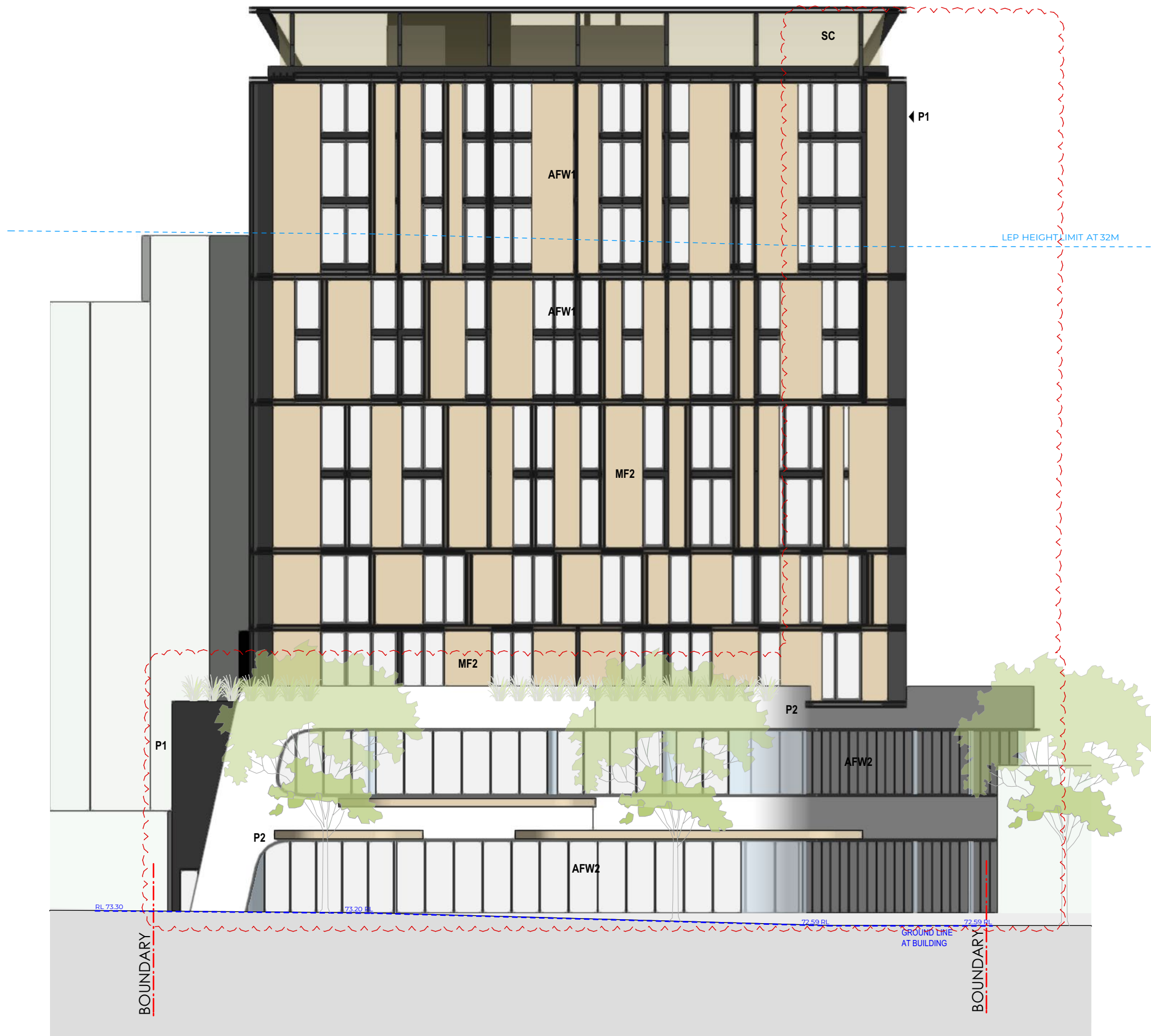
DRAWING NO.

DA40

REVISION

B

B



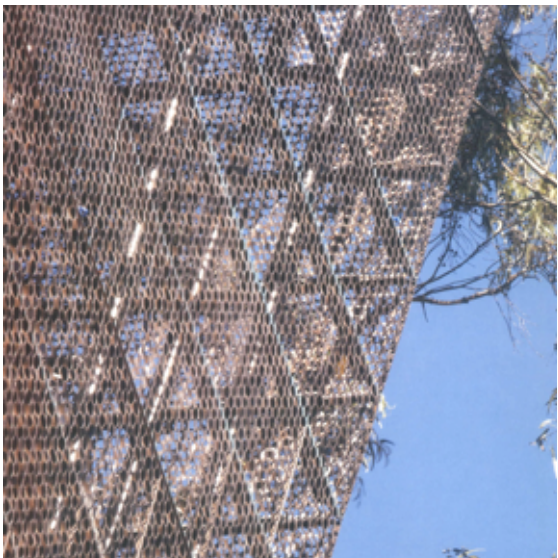
MF1 ▶ BLACK CLADDING



P2 ▶ CERAMIC TILE FACADE



MF2 ▶ BRONZE COLOURED CLADDING



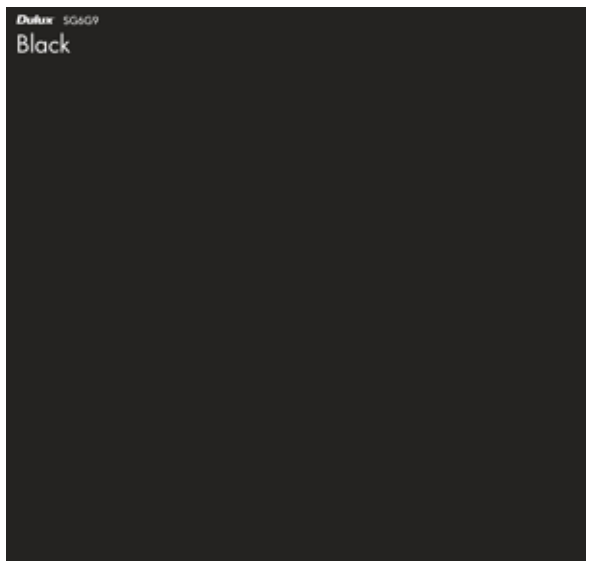
SC ▶ BRONZE METALLIC PERFORATED METAL SCREEN



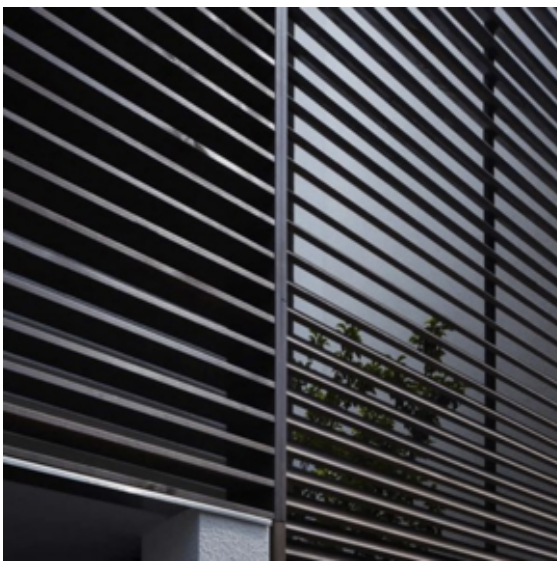
AFW1 ▶ ALUMINIUM FRAME WINDOWS TO MATCH MF1



AFW2 ▶ ALUMINIUM FRAME WINDOWS TO MATCH P2



P1 ▶ DULUX BLACK OR SIMILAR



LV ▶ LOUVRE SCREENING

L01 & L02 LAYOUT / FLOOR PLAN DESIGNED BY ALTIS ARCHITECTURE PTY LTD

KEY / NOTES

- MF1 ▶ BLACK METALLIC CLADDING
- MF2 ▶ BRONZE METALLIC
- AFW1 ▶ ALUMINIUM FRAME WINDOWS TO MATCH MF1
- AFW2 ▶ ALUMINIUM FRAME WINDOWS TO MATCH P2
- P1 ▶ DULUX BLACK OR SIMILAR
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- SC ▶ BRONZE METALLIC PERFORATED METAL SCREEN
- LV ▶ LOUVRE SCREENING
- PLANNING PROPOSAL 85M HEIGHT LIMIT ENVELOPE
- EXISTING GROUND LINE

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CAMPBELLTOWN RSL CLUB

ADDRESS

156-168 QUEEN STREET
CAMPBELLTOWN

REVISION

B DAAMENDMENTS

TITLE

EXTERNAL MATERIALS +
FINISHES SCHEDULE

SCALE @ A2
DRAWN BY
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1:200
MJ
AJ

FOR DEVELOPMENT
APPLICATION ONLY

PROJECT NO.

17088

DRAWING NO.

DA50

REVISION

B



LANDSCAPE PLAN: level 01 scale: 1:200

NOTE.
Public art design & installation to be carried out by public indigenous artist.

LEGEND

	Proposed large canopy tree planting (refer to proposed plant schedule)		Proposed turf area (refer to proposed plant schedule)		Proposed sandstone log seat		Proposed pebble surface		Proposed feature sandstone boulders
	Proposed Palm tree planting (refer to proposed plant schedule)		Proposed artificial area (refer to proposed plant schedule)		Proposed feature threshold paving		Proposed feature GRC pot		Proposed feature solar ball lights
	Proposed small tree planting (refer to proposed plant schedule)		Proposed public art (text inlay) feature tile paver banding		Proposed title paving to Architect's details		Proposed on-structure planter		Proposed S/W pits to Hydraulic eng's detail
	Existing trees to be protected & retained		Proposed timber seat		Proposed conc. paving		Proposed removal bollard		Design levels
	Proposed shrub planting (refer to proposed plant schedule)		Proposed cast-in-situ conc. bench		Proposed large format paving		Proposed water feature		Existing levels
	Proposed groundcover planting (refer to proposed plant schedule)		Proposed feature seating platform		Existing public domain conc. unit paving to be reinstated		Proposed table		Site boundary
	Proposed accent planting (refer to proposed plant schedule)		Proposed pebble seat		Proposed pedestrian walkway paving		Proposed GRC feature seat		

PROPOSED PLANT SCHEDULE

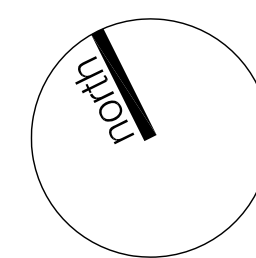
CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT
TREES & PALMS				
ACS	<i>Acmena smithii</i>	Lillypilly	75L	8m
ANC	<i>Angophora costata</i>	Smooth-barked Apple	75L	15m
BAC	<i>Backhousia citriodora</i>	Lemon Scented Myrtle	75L	8m
CAV	<i>Callistemon viminalis</i>	Weeping Bottlebrush	75L	6m
COF	<i>Corymbia ficifolia</i>	Flowering Gum	75L	8m
CUA	<i>Cupaniopsis anacardioides</i>	Tuckeroo	75L	7m
ELR	<i>Elaeocarpus reticulatus</i>	Blue-berry Ash	75L	8m
EUP	<i>Eucalyptus piperta</i>	Sydney Peppermin	75L	20m
FRR	<i>Fraxinus 'Raywood'</i>	Claret Ash	75L	9m
HOF	<i>Howea forsteriana</i>	Kentia Palm	75L	10m
LIA	<i>Livistona australis</i>	Cabbage Palm Tree	75L	15m
PLR	<i>Plumeria rubra</i>	Frangipani	75L	6m
PYCC	<i>Pyrus calleryana 'Chanticleer'</i>	Calleryana Pear	75L	11m
TRL	<i>Tristaniaopsis laurina</i>	Water Gum	75L	8m
SCREEN & BARRIER SHRUBS				
Acs	<i>Acmena smithii var. minor</i>	Dwarf Lillypilly	25L	3m
Cgbf	<i>Callistemon 'Great Balls of Fire'</i>	Great Balls of Fire Bottlebrush	200mm	1.5m
Coa	<i>Correa alba</i>	White Correa	150mm	1.5m
Dsg	<i>Duranta 'Sheena's Gold'</i>	Golden Dew Drop (Hedge)	25L	2m
Gaaf	<i>Gardenia augusta 'Florida'</i>	Gardenia 'Florida'	200mm	1.5m
Phgr	<i>Photinia glabra 'Rubens'</i>	Photinia	25L	2m
Pmy	<i>Phorthea myoporoides</i>	Wax Flower	200mm	1.5m
Saas	<i>Syzygium australe 'Aussie Southern'</i>	Syzygium 'Aussie Southern'	5L	2m
GROUND COVERS				
Ald	<i>Alternanthera dentata</i>	Ruby leaf alternanthera	150mm	0.5m
Arp	<i>Anthurium Pink Pandola</i>	Flamingo Flower	150mm	0.5m
Cao	<i>Calathea ornata</i>	Prayer/Peacock Plant	5L	0.4m
Cim	<i>Clivia miniata</i>	Kaffir Lily	3 L	0.4m
Dic	<i>Dianella caerulea 'little jess'</i>	Flax Lily	150mm	0.6m
Dir	<i>Dianella revoluta 'little rev'</i>	Black Anther Flax Lily	150mm	0.3m
Dis	<i>Dichondra 'silver falls'</i>	Dichondra	150mm	0.2m
Dmg	<i>Duranta Mini Gold</i>	Dwarf Golden Dew Drop	150mm	0.5m
Dss	<i>Dianella Silver Streak</i>	Silver Streak Flax Lily	150mm	0.4m
Imc	<i>Imperata cylindrica</i>	Blady Grass	150mm	0.6m
Limeg	<i>Liriope muscari 'Evergreen Giant'</i>	Giant Lily Turf	150mm	0.6m
Lolk	<i>Lomandra longifolia 'Katrinus'</i>	Spiny-headed Mat-rush 'Katrinus'	150mm	0.7m
Opj	<i>Ophiopogon japonicus 'Black Dragon'</i>	Mondo Grass	100mm	0.3m
Par	<i>Pennisetum advena 'Rubrum'</i>	Purple Fountain Grass	150mm	1.5m
Pea	<i>Pennisetum alopecuroides</i>	Black Lea	150mm	0.8m
Pol	<i>Poa labillardieri</i>	Tussock Grass	150mm	0.8m
Tha	<i>Themeda australis 'Mingo'</i>	Kangaroo Grass	150mm	0.3m
Tjt	<i>Trachelospermum jasminoides 'tricolor'</i>	Tricolor Jasmine	150mm	0.2m
ACCENT PLANTS				
Aga	<i>Agave attenuata</i>	Century Plant	200mm	1.5m
Cac	<i>Cordyline australis 'Cabernett'</i>	Cordyline Cabernett	200mm	1.2m
Cpj	<i>Cordyline 'Pink Joy'</i>	Pink Joy Cordyline	150mm	1.2m
Ctt	<i>Cordyline terminalis 'Tricolor'</i>	Ti Plant	300mm	2m
Drm	<i>Dracaena Marginata</i>	Dragon Tree	250mm	2m
Phbb	<i>Phormium 'Bronze Baby'</i>	Bronze Baby Flax	200mm	0.8m
Std	<i>Strelitzia reginae dwarf</i>	Dwarf Brd-of-Paradise	200mm	0.6m
TURF GRASS				
As noted	<i>Stenotaphrum secundatum</i>	Sir Walter Buffalo	N/A	



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156-168 Queen Street, CAMPBELLTOWN NSW

0 1 2 5 10 20 scale @1: 200A1
@1: 400A3



dwg title	scale: 1:200 @a1	revision	date
landscape plan : level 01	dwg no.: DA-L101	P client's review	23/01/20
	Client: Campbelltown RSL Club	A da submission	29/01/20
		B da submission	15/07/20

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LANDSCAPE PLAN: level 03 scale: 1:200

MAINTENANCE PROGRAM

The typical range of maintenance tasks required over a 12 month period is summarised in the table. Any information provided in the table must be assessed in the light of the weather and general site conditions. For example, watering frequency depends on the soil drainage and rainfall; fertiliser type and frequency needs to be adjusted to suit the plant requirements and the soil fertility and pH.

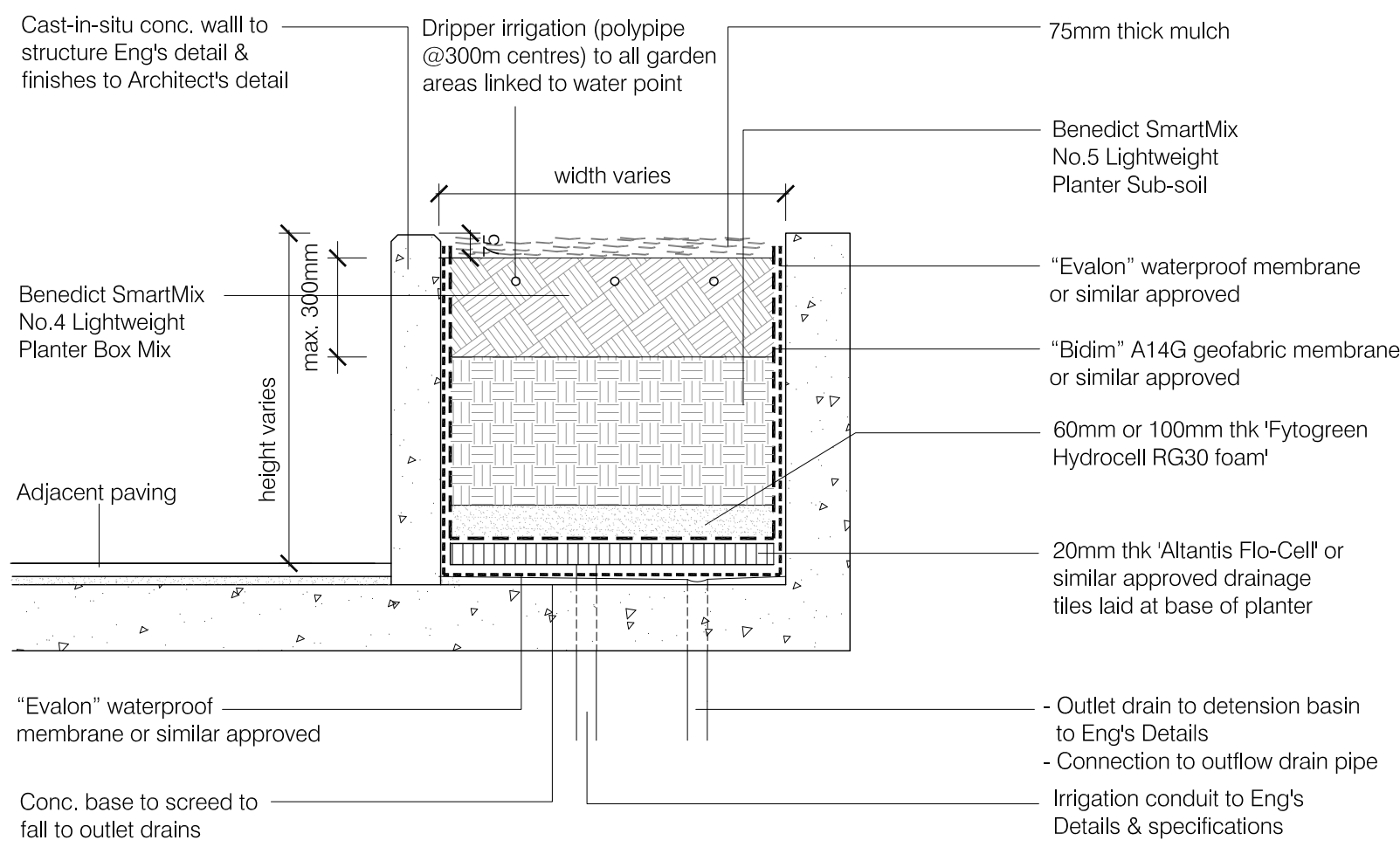
MULCH
Mulch will need to be topped up periodically to maintain a min. depth of 75mm. Mulch should be kept at least 50mm away from plant stems to reduce the risk of collar rot.

WEEDS
Weeds in mulched beds will need to be controlled by hand pulling or by the use of non residual herbicides. When using herbicides be very careful to avoid spray drifting onto valuable plants. the smallest contact with the chemicals can cause damage.

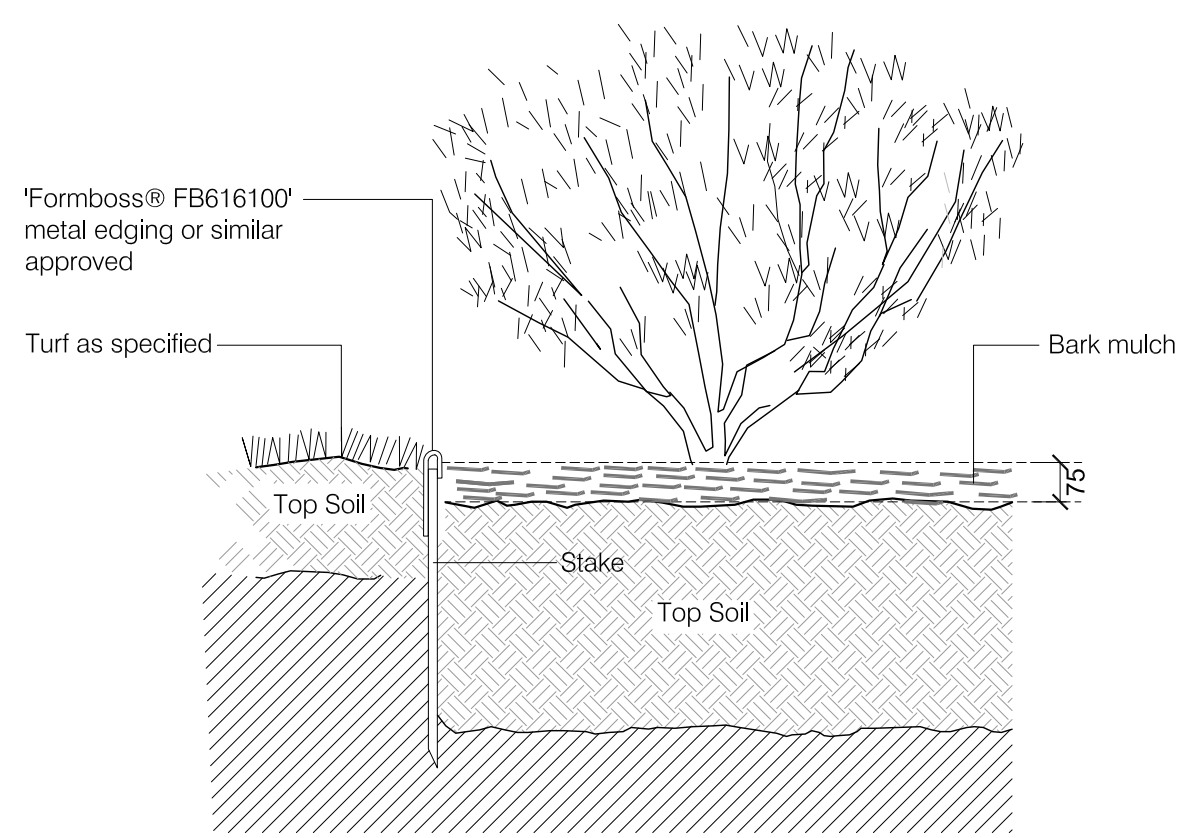
PLANT MAINTENANCE
Deep watering once or twice a week is more beneficial to plants than frequent light watering. Frequent watering will produce shallow roots and make the plant less stable and susceptible to drought. Maintain moisture to the bottom of the rootball for the first 3 months. To help safeguard plants remove labels immediately after planting. Where plants are susceptible to damage by vehicles to pedestrians, maintain protective fences until plants are well established. Replace dead plants fortnightly until such time as alternative maintenance procedures are in place.

LAWN MAINTENANCE
Once lawn has been established, carry out watering and fertilising as suggested in the typical maintenance program. In summer, through watering, two or three times each week will encourage roots to go deeper in search of water. Mow grass as required to maintain an even tidy appearance.

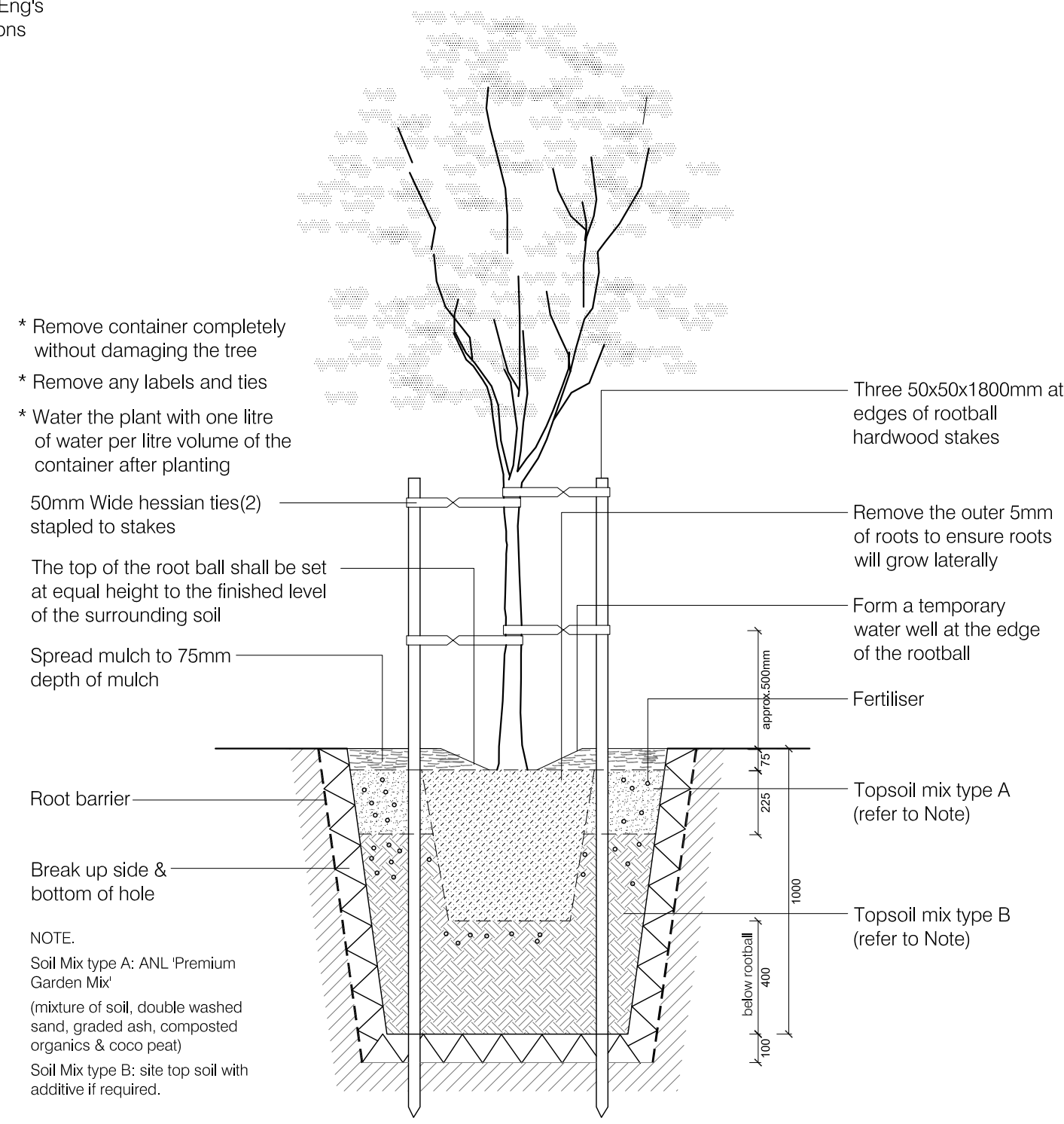
Maintenance Task	Frequency											
	January	February	March	April	May	June	July	August	September	October	November	December
Grass												
Mowing lawn	WEEKLY				AS REQUIRED				WEEKLY			
Watering lawn	TWICE WEEKLY				AS REQUIRED				TWICE WEEKLY			
Fertilising lawn												
Weed control												
Top dressing												
Aerating					PRIOR TO RESEEDING							
Reseeding												
Trees & Shrubs												
Watering	WEEKLY				AS REQUIRED				WEEKLY			
Fertilising												
Pruning												
Mulching												
Weed control												
Thinning												
Insect & disease control												



TYPICAL DETAIL 01: on-structure planter scale: 1:20

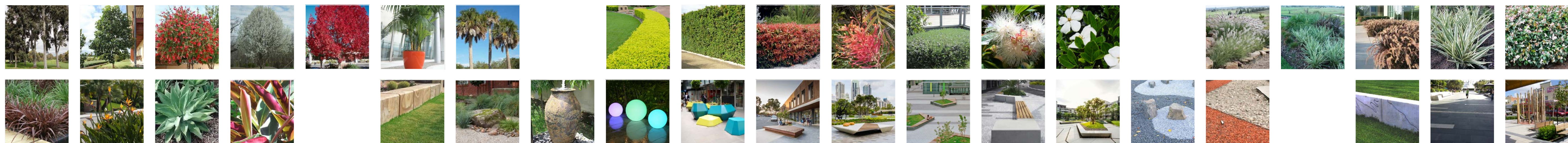


TYPICAL DETAIL 02: metal edging scale: 1:10

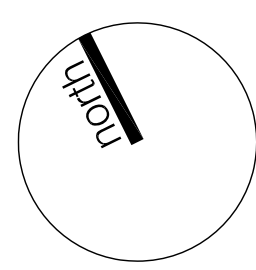


TYPICAL DETAIL 03: tree planting scale: 1:20

PROPOSED PLANTING & LANDSCAPE ELEMENT PALETTE



156-168 Queen Street, CAMPBELLTOWN NSW



dwg title	scale: 1:200 & as shown @a1	revision	date
landscape plan:	dwg no.: DA-L102	P client's review	23/01/20
level 03 & typical details	Client: Campbelltown RSL Club	A da submission	29/01/20
		B da submission	15/07/20

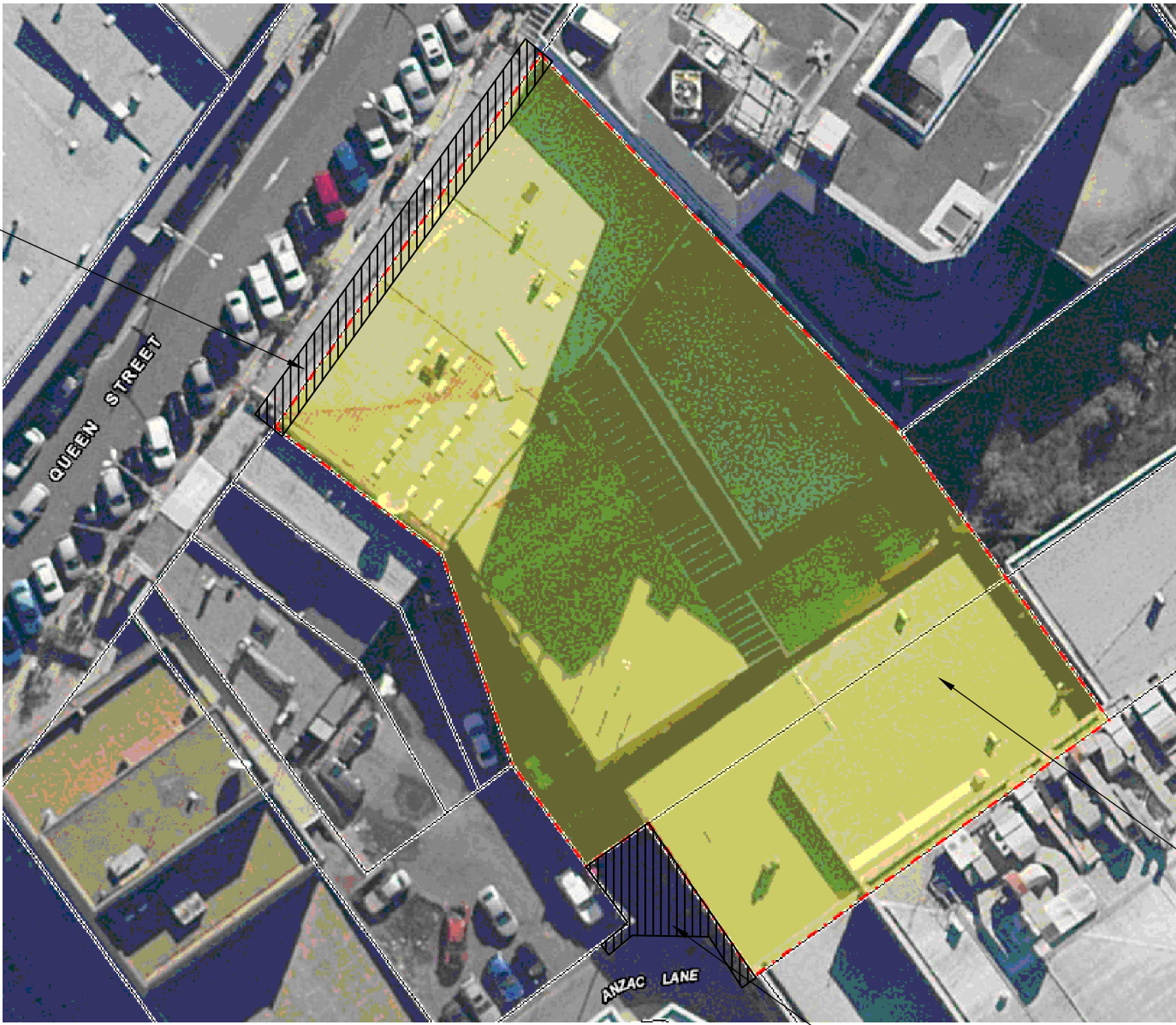
GENERAL NOTES:

1. ALL WORKS ARE TO BE IN ACCORDANCE WITH COUNCIL CODES & SPECIFICATIONS
- 2.SURVEY MARKS:-
STATE SURVEY MARKS SHOWN THUS SHALL BE SET IN TOP OF THE KERB AS IT IS BEING LAID, BY THE CONTRACTOR, IN THE INDICATED LOCATIONS.
MARKS SHALL BE SUPPLIED BY THE PROJECT SURVEYOR.
SURVEY MARKS SHOWN THUS SHALL BE RETAINED AT ALL TIMES.
WHERE RETENTION IS NOT POSSIBLE THE SUPERINTENDENT MUST BE NOTIFIED AND CONSENT RECEIVED PRIOR TO THEIR REMOVAL
- 3.THE CONTRACTOR SHALL LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION AND MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE OR ADJUST IF NECESSARY. ANY UTILITY ADJUSTMENT SHALL BE AT THE DEVELOPERS EXPENSE.
- 4.THE CONTRACTOR SHALL NOT ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE WRITTEN PERMISSION OF THE OWNERS. TO BE PROVIDED PRIOR TO THE APPROVAL OF THE PLANS.
- 5.THE CONTRACTOR SHALL MAINTAIN SERVICES AND ALL WEATHER ACCESS AT ALL TIMES TO ADJOINING PROPERTIES.
- 6.COUNCIL'S TREE PRESERVATION ORDER MUST BE OBSERVED AND NO TREE SHALL BE FELLED, LOPPED OR REMOVED WITHOUT THE PRIOR APPROVAL OF COUNCIL'S ENGINEER.
- 7.TREES TO BE RETAINED ON SITE SHALL BE PROTECTED BY SUITABLE STURDY APPROVED PROTECTIVE FENCING PRIOR TO COMMENCEMENT OF SITE WORKS.
- 8.THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES OUT-HOUSES, CAR BODIES AND DEBRIS ETC.
- 9.PUBLIC RESERVE AREAS SHALL BE CLEARED OF UNDERGROWTH, IMPROVEMENTS AND FENCES AS DIRECTED BY THE ENGINEER.
10. FILLING IS TO BE FROM A NOMINATED SOURCE, OF SOUND CLEAN MATERIAL, FREE FROM LARGE ROCK, STUMPS, CONTAMINATED MATTER, INDUSTRIAL AND BUILDING WASTE, ORGANIC MATTER AND OTHER DEBRIS. PLACING OF FILLING ON THE PREPARED AREAS SHALL NOT COMMENCE UNTIL THE AUTHORITY TO DO SO HAS BEEN OBTAINED FROM THE COUNCIL
11. SITE FILL AREAS:- THE CONTRACTOR SHALL TAKE LEVELS OF EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING FILL OPERATIONS.
12. ALL SITE FILLING TO BE COMPACTED TO 95% STANDARD COMPACTION AND SHALL BE CONTROLLED BY A REGISTERED SOIL LABORATORY IN ACCORDANCE WITH COUNCIL'S "WORKS SPECIFICATION"
13. ALL SITE RE-GRADING AREAS SHALL BE GRADED AT A MINIMUM 1 % TO THE ENGINEERS REQUIREMENTS
14. SURPLUS EXCAVATED MATERIAL SHALL BE PLACED WHERE DIRECTED BY THE SUPERINTENDENT.
15. ALL DRAINAGE LINES THROUGH LOTS SHALL BE CONTAINED WITHIN THE FOLLOWING EASEMENTS:-
INTERALLOTMENT DRAINS (C.D.L.) - 1.2m WIDE MINIMUM (UP TO 300mm dia
ALL OTHER PIPES - 4 x PIPE dia.
16. DRAINAGE LINES UNDER ROADS SHALL BE BACKFILLED WITH NON-COHESIVE SAND AND HAVE 3m OF SUBSOIL DRAIN WRAPPED IN APPROVED FILTER SOCK, DISCHARGING INTO DOWN STREAM PITS.
17. VEHICULAR CROSSINGS SHALL BE CONSTRUCTED IN KERB AND GUTTER WHERE SHOWN. IN ACCORDANCE WITH COUNCIL'S STANDARD DRAWINGS.
18. PRAM CROSSINGS SHALL BE CONSTRUCTED IN KERB AND GUTTER IN ACCORDANCE WITH COUNCIL'S STANDARD DRAWING.
19. ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS.
20. ALL INTERALLOTMENT DRAINAGE LINES SHALL BE LAID AT A MINIMUM GRADE OF 1% UNLESS OTHERWISE INDICATED.
21. DRAINAGE LINES ON PLANS ARE DIAGRAMMATIC ONLY AND PIPE CENTRE LINES SHALL ENTER AND EXIT PITS AT THE CENTRE OF THE RESPECTIVE PIT WALLS.
22. DIMENSIONS OF ANY DETAIL SHALL NOT BE SCALED - DIMENSIONS, IF IN DOUBT, SHALL BE VERIFIED BY THE SUPERINTENDENT.
23. ALL CONSTRUCTION AND RESTORATION WORK ON COUNCIL'S ROAD AND FOOTPATH AREA ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE APPROVED DRAWINGS AND COUNCIL'S STANDARD SPECIFICATIONS.
24. ALL SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO COMMENCEMENT OF WORKS
25. FILL COMPACTION AS SPECIFIED
26. ALL TESTING CONTROLLED & CERTIFIED BY NATA REGISTERED LAB
27. STRIP & STOCKPILE TOPSOIL PRIOR TO FILLING & RE0SPREAD ON COMPLETION OF WORKS
28. AGRICULTURAL LINES SHALL BE PLACED AS DIRECTED
27. STRIP & STOCKPILE TOPSOIL PRIOR TO FILLING & RE0SPREAD ON COMPLETION OF WORKS

CONCEPT CIVIL WORKS PLANS
FOR
NO.156-168 QUEEN STREET, CAMPBELLTOWN



SITE LOCALITY PLAN



EXTENT OF WORKS PLAN

DRAWING SCHEDULE

SHEET C01 - TITLE SHEET, SITE
LOCATY PLAN, & EXTENT OF WORKS
PLAN.

SHEET C02-
CIVIL WORKS PLAN, VEHICULAR
CROSSING PLAN, LONGITUDINAL
SECTION.

SHEET C03- VEHICLE CROSSING
DETAILS AND FOOTPATH DETAILS.

SHEET C04- SWEEP PATH ANALYSIS
OF PROPOSED DRIVEWAY.

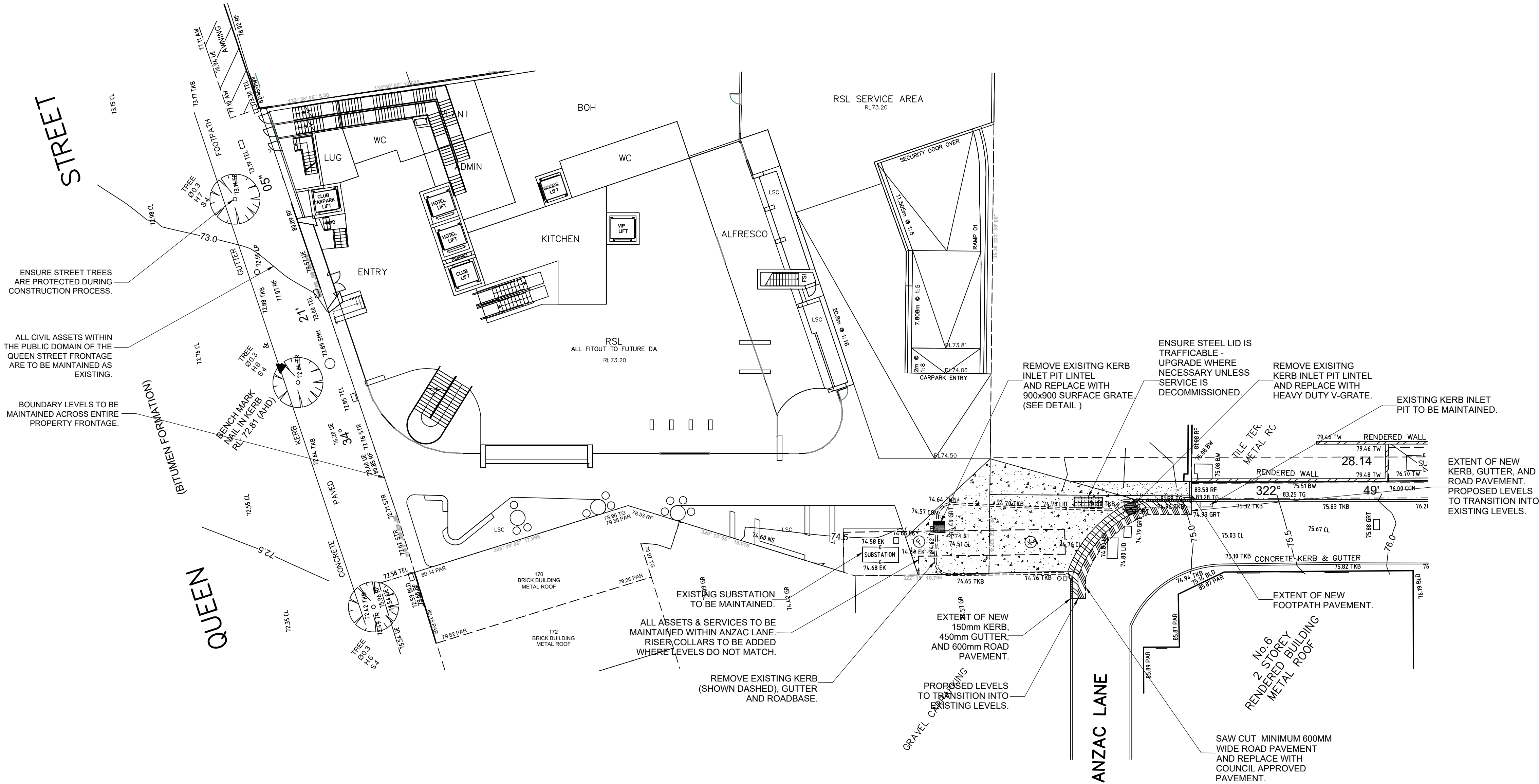
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-Ensure all services are located
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work/excavation.



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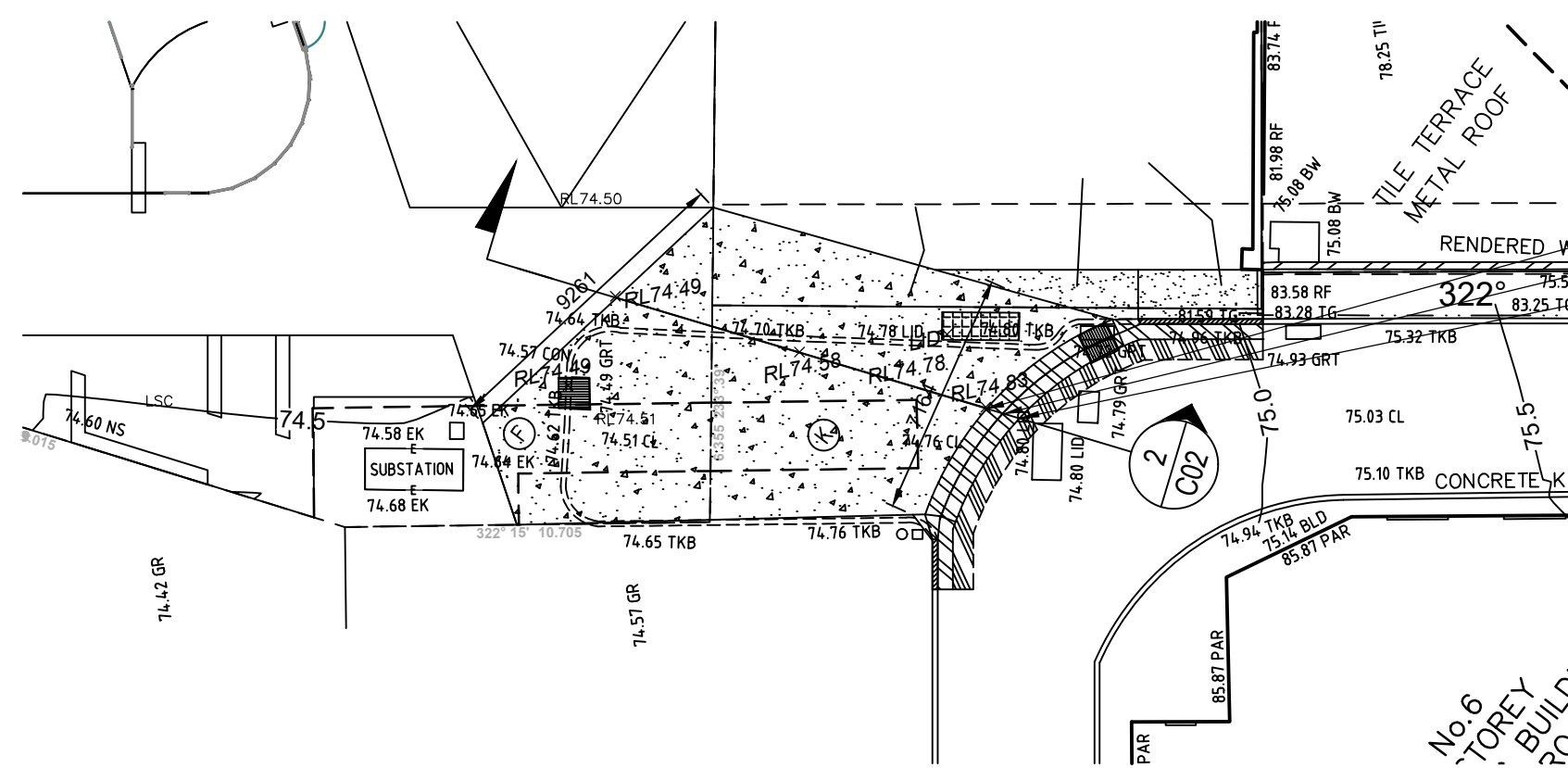
	ZAIT Engineering Solutions Pty Ltd Suite 5, 5-7 Villiers St, Parramatta, NSW 2150 Phone: 02 9630 5849 Email: info@zait.com.au ABN 40 608 862 899 ACN 608 862 899 Copyright	DATE ISSUED	REVISION:		PROJECT:	ACHITECT:	DRAWING TITLE:					ISSUE:	B	NORTH: 			
		28-01-20	A	ISSUE FOR DA ONLY	PROPOSED NEW DEVELOPMENT							156-168 QUEEN ST, CAMPBELLTOWN	ALEKSANDER PROJECTS ARCHITECTS		TITLE SHEET SITE LOCALITY PLAN EXTENT OF WORKS PLAN	DRAWING NUMBER:	C01
		15-08-20	B	RFI LETTER DATED 16-06-20	CLIENT:											CAMPBELLTOWN RSL CLUB	JOB NUMBER:
							APPROVED:										
							DESIGNED:	DRAWN:	CHECKED:	DATE:	SCALE:	DAVID ZAITER BEng (Hons), MIEAust, CPEng NER RPEQ					
							D.Z.	D.T	D.Z.	NOV-19	1:100						



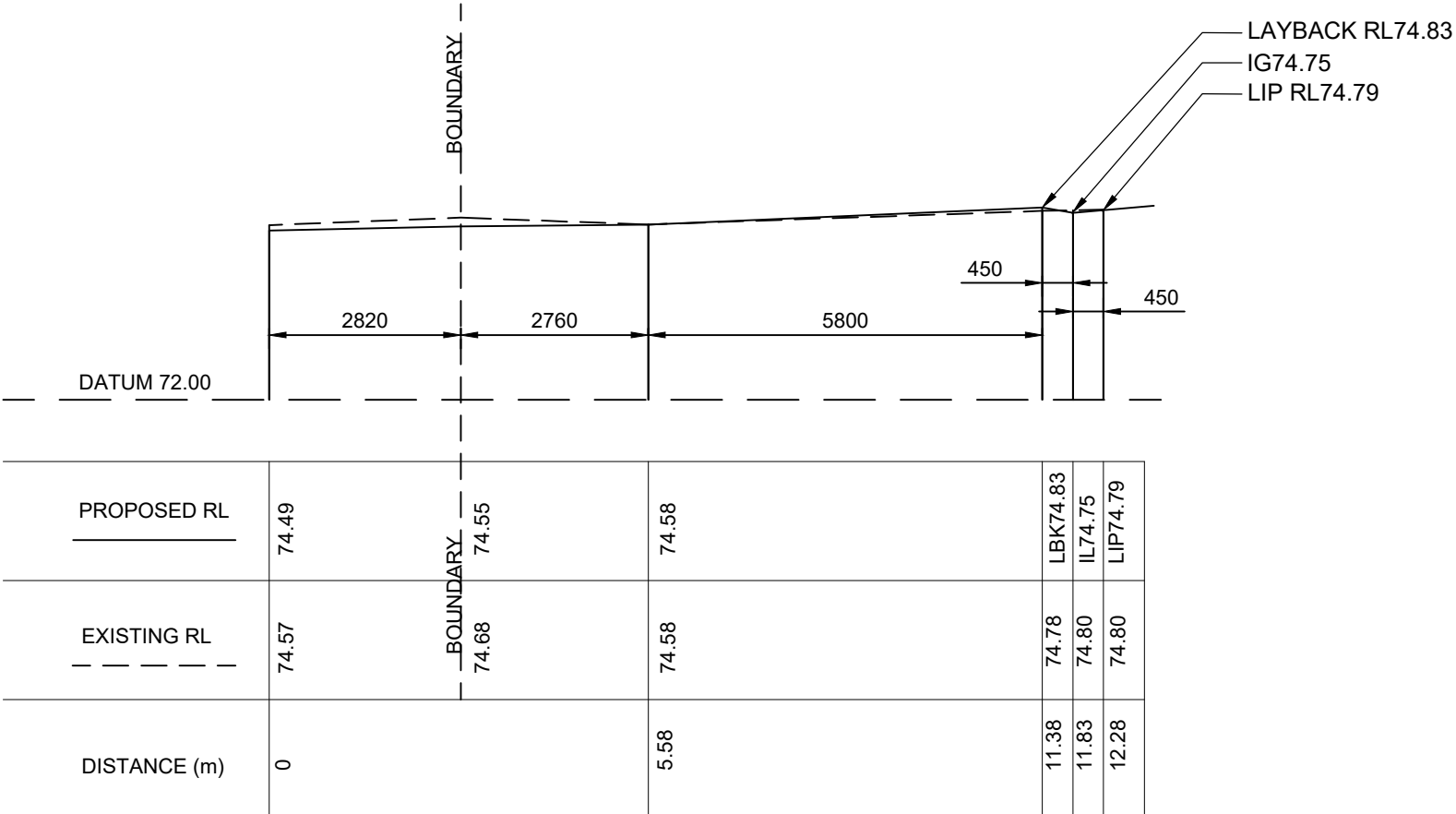
- EASEMENT SCHEDULE:
- (A) EASEMENT FOR SUPPORT 0.4 WIDE (DP.10086014)
 - (B) EASEMENT FOR SUPPORT 0.4 WIDE (DP.597199)
 - (C) EASEMENT FOR SERVICES 2.44 WIDE (DP.597199)
 - (D) EASEMENT FOR ELECTRICITY SUPPLY 1 WIDE (DP.597199)
 - (E) EASEMENT FOR SERVICES 1 WIDE (DP.597199)
 - (F) EASEMENT FOR ELECTRICITY SUPPLY 2 WIDE & VARIABLE Q546498 (DP.451287)
 - (G) EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE (LIMITED IN HEIGHT) HEIGHT LIMITED TO RL 82.4 DEPTH UNLIMITED
 - (K) EASEMENT FOR ELECTRICITY SUPPLY 2 WIDE Q546498

ALL SERVICES IN ANZAC LANE TO BE LOCATED AND ADJUSTED AS NECESSARY AT CC STAGE.

CIVIL WORKS PLAN - QUEEN STREET FRONTAGE & ANZAC LANE
SCALE: 1:200



VEHICULAR CROSSING PLAN
SCALE: 1:200



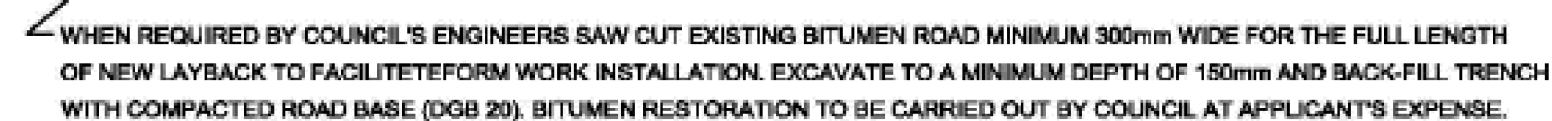
LONG SECTION 1 - VEHICULAR CROSSING (ANZAC LANE)
SCALE: 1:100

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		28-01-20	A	ISSUE FOR DA ONLY								PROPOSED NEW DEVELOPMENT									
		15-08-20	B	RFI LETTER DATED 16-06-20								156-168 QUEEN ST, CAMPBELLTOWN									
								ALEKSANDER PROJECTS ARCHITECTS	EXTENT OF WORKS & PROPOSED DRIVEWAY CROSSING						DRAWING NUMBER:	C02					
															JOB NUMBER:		19DZ2030				
															DESIGNED:	DRAWN:		CHECKED:	DATE:	SCALE:	APPROVED:
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								CLIENT:													
								CAMPBELLTOWN RSL CLUB													



1. CROSSING LOCATIONS AND WIDTHS TO CONFORM WITH APPROVED PLANS.
2. DULMYY/KEY JOINTS OF APPROVED PROPRIETARY DESIGN SHALL BE PREPARED AS FOLLOWS:
 - 8m - 9m IN SINGLE CENTRAL JOINT
 - GREATER THAN 9m TWO JOINTS EQUALLY SPACED.
3. COMMERCIAL AND INDUSTRIAL VEHICULAR FOOTWAY CROSSINGS SHALL BE MINIMUM 175mm THICK CONCRETE, REINFORCED WITH 8/82 MESH ON CHAIRS, 50mm COVER. A STRUCTURAL DESIGN IS REQUIRED FOR HEAVY INDUSTRIAL APPLICATION.
4. THE CONCRETE SHALL BE PLACED ON A 175mm LAYER OF APPROVED FINE, GRANULAR MATERIAL, EXCEPT UNDER THE KERB AND GUTTER LINE WHERE THIS SECTION SHALL BE PLACED ON A MINIMUM 175mm COMPACTED LAYER OF D.G.B 20.
5. MINIMUM WIDTH OF ENTRY IN INDUSTRIAL AT KERB LINE SHALL BE 7m PLUS WINGS.
6. MAXIMUM WIDTH OF ENTRY IN INDUSTRIAL AT KERB LINE IS SUBJECT TO TRAFFIC REGULATIONS, POLICY AND STANDARDS FOR TRAFFIC GENERATING DEVELOPMENTS AND DEVELOPMENT CONSENT.
7. EXISTING CONCRETE FOOTPATH SHALL BE SAW CUT EITHER SIDE OF THE CROSSING AND WHERE NECESSARY RECONSTRUCTED IN CONJUNCTION WITH THE CROSSING.
8. CONCRETE SHALL HAVE A 28 DAY STRENGTH (f_{cu}) OF 32MPa AND A SLUMP OF 80mm.
9. ANY VARIATIONS TO STANDARD CROSSFALL 2.5 % ON FOOTWAY SHALL HAVE THE PRIOR APPROVAL OF COUNCIL.
10. CONCRETE SHALL HAVE A LIGHT BROOM FINISH.
11. ALL DIMENSIONS ARE SHOWN IN MILLIMETRES.

COMMERCIAL & INDUSTRIAL VEHICLE CROSSING PLAN (SDR10 SHEET 1)
CAMPBELLTOWN CITY COUNCIL STANDARD DRAWINGS
SCALE: NTS



COMMERCIAL VEHICLE CROSSING SECTION A-A (SDR10 SHEET 2)
CAMPBELLTOWN CITY COUNCIL STANDARD DRAWINGS
SCALE: NTS



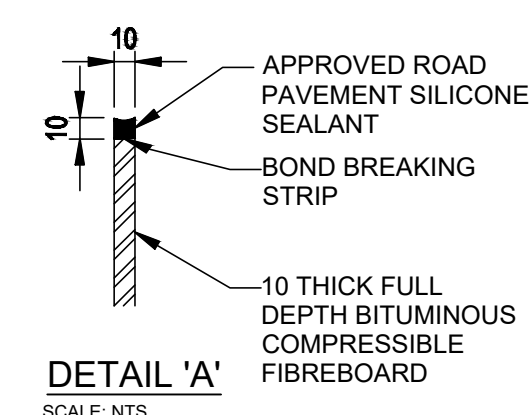
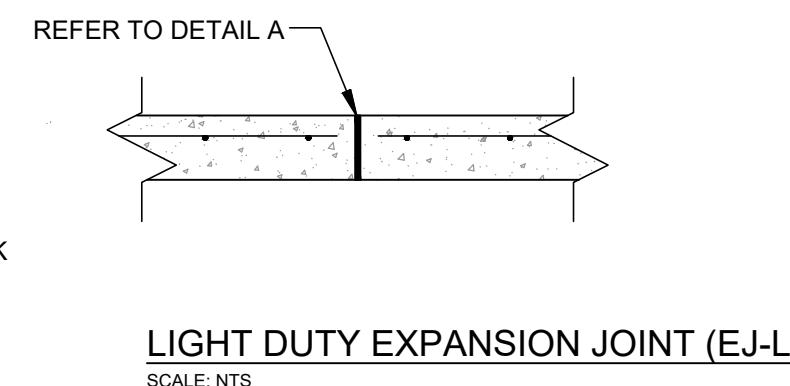
COMMERCIAL VEHICLE CROSSING SECTION B-B (SDR10 SHEET 2)
CAMPBELLTOWN CITY COUNCIL STANDARD DRAWINGS
SCALE: NTS



STANDARD CONCRETE KERB & GUTTER DETAILS (SDR10 SHEET 2)
CAMPBELLTOWN CITY COUNCIL STANDARD DRAWINGS
SCALE: NTS



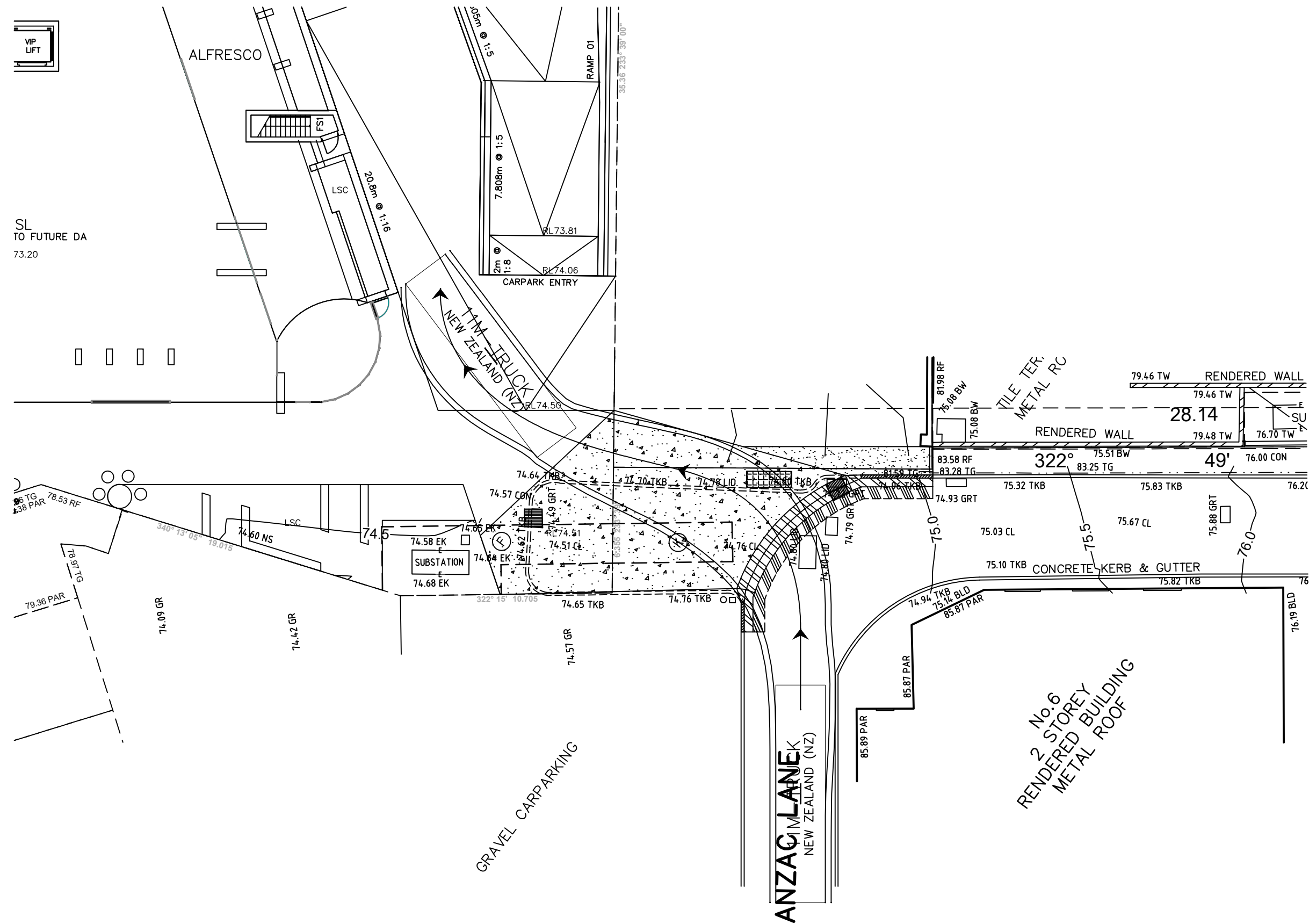
STANDARD CONCRETE LAYBACK DETAILS (SDR10 SHEET 2)
CAMPBELLTOWN CITY COUNCIL STANDARD DRAWINGS
SCALE: NTS



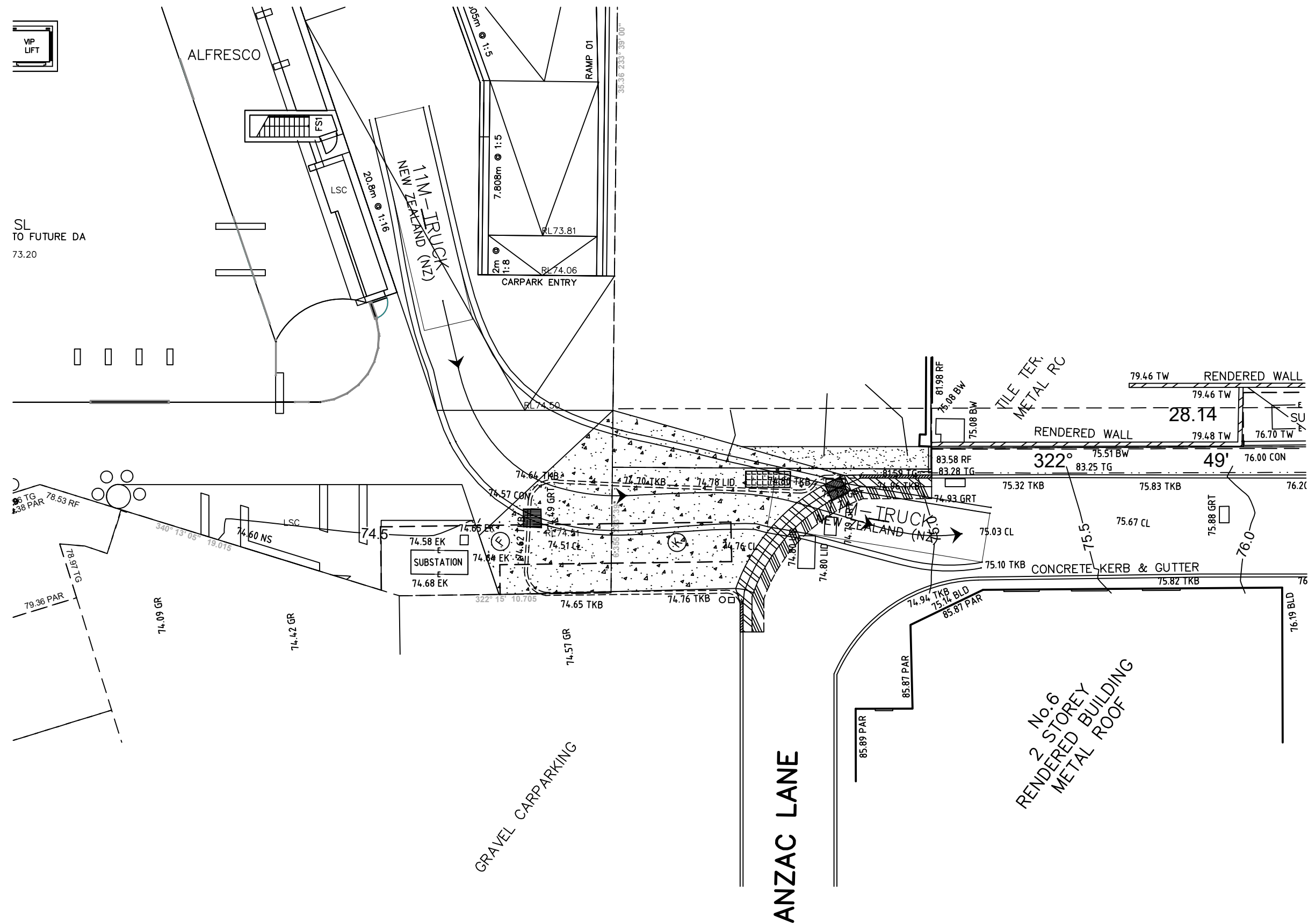
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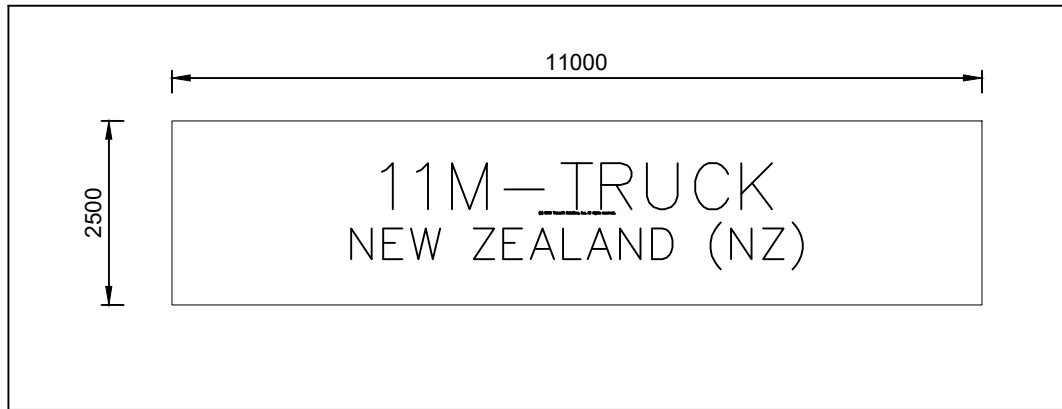
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					DRAWING NUMBER:	C03	
					JOB NUMBER:	19DZ2030	
DESIGNED:	DRAWN:	CHECKED:	DATE:	SCALE:	APPROVED:		
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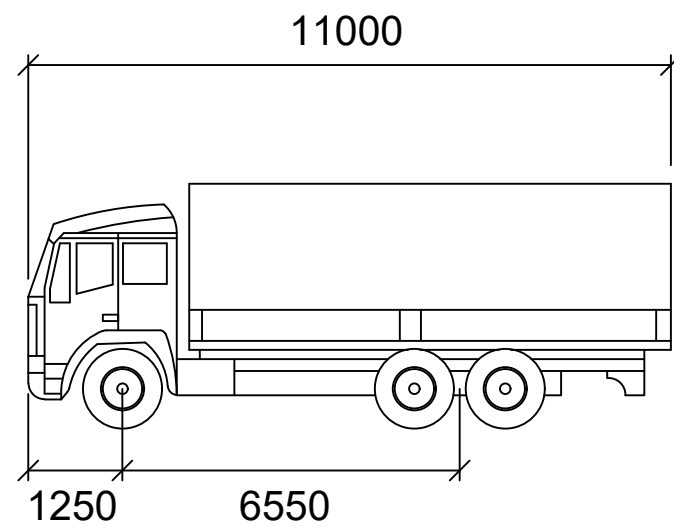
VEHICULAR CROSSING SWEEP PATH 1 - 11m SERVICE VEHICLE ENTERING SITE
SCALE: 1:200



VEHICULAR CROSSING SWEEP PATH 2 - 11m SERVICE VEHICLE EXITING SITE
SCALE: 1:200



11m SERVICE TRUCK DIMENSIONS
SCALE: 1:100



11M-TRUCK mm
Width : 2500
Track : 2500
Lock to Lock Time : 6.0
Steering Angle : 37.4

11m SERVICE TRUCK PROFILE & DETAILS
SCALE: NTS

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		28-01-20		A		ISSUE FOR DA ONLY								PROPOSED NEW DEVELOPMENT		DRAWING NUMBER:			C04							
		15-08-20		B		RFI LETTER DATED 16-06-20								156-168 QUEEN ST, CAMPBELLTOWN		JOB NUMBER:			19DZ2030							
									CLIENT:		SWEPT PATH ANALYSIS OF PROPOSED VEHICULAR CROSSING					APPROVED:										
									CAMPBELLTOWN RSL CLUB							DESIGNED:			DRAWN:		CHECKED:		DATE:		SCALE:	
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